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Planning Commission Staff Report

TO: PLANNING COMMISSION

FROM: AMANDA ELLIOTT, REDEVELOPMENT PROGRAM MANAGER 
(480) 503-6886, AMANDA.ELLIOTT@GILBERTAZ.GOV

AMY TEMES, PRINCIPAL PLANNER 
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

THROUGH: EVA CUTRO, AICP, PLANNING MANAGER 
(480) 503-6782, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: JANUARY 6, 2021

SUBJECT: Z19-01 HERITAGE DISTRICT DESIGN GUIDELINES: Amendment to the Town of Gilbert Land Development Code by amending Chapter I Zoning Regulations, Division 2 Land Use Designations, Article 2.4 Heritage Village Center Zoning District, Division 3 Overlay Zoning District, Article 3.4 Heritage District Overlay Zoning District, and Division 6 Use Definitions; Chapter II, Design Standards and Design Guidelines, Article 1.8 Heritage District Design Guidelines, and the Glossary of Terms related to development standards within the Heritage Village Center Zoning District.

STRATEGIC INITIATIVE: Exceptional Built Environment

To provide updated design guidelines consistent with the 2018 Redevelopment District Redevelopment Plan.

RECOMMENDED MOTION

Input Only. No motion required.

APPLICANT/OWNER

Company: Town of Gilbert
Name: Amanda Elliott / Amy Temes
Address: 90 East Civic Center Drive
Gilbert, Az 85296
Phone: 480-503-6886480 / -503-6729
Email: Amanda.elliott@gilbertaz.gov / amy.temes@gilbertaz.gov

BACKGROUND/DISCUSSION

History

Date	Description
<i>July 16, 2008</i>	The Planning Commission initiated a text amendment to the Land Development Code to establish Design Guidelines applicable to the Heritage District and create new provisions in the Heritage District Village Zoning District to implement future design guidelines for residential and commercial uses in the related to preserving the historic character of the existing uses and accommodating new development that fits into the historic context of the Heritage District.
<i>November 19, 2009</i>	The Redevelopment Commission recommended approval to Planning Commission for the commercial sections of the Heritage District Design Guidelines.
<i>February 17, 2010</i>	The Planning Commission held the required citizen review for the proposed text amendment.
<i>February 18, 2010</i>	The Redevelopment Commission recommended approval to the Planning Commission for the residential sections of the Heritage District Design Guidelines.
<i>March 3, 2010</i>	The Planning Commission recommended approval to the Town Council for the approval of the proposed text amendment.
<i>March 23, 2010</i>	Town Council approved the findings of fact and adopted Ordinance No. 2281 (Z08-28), the amendment to the zoning code of Gilbert, Arizona, Chapter II, Article 1.8 and Chapter I, Article 4.2, Section 4.204, to establish commercial and residential design guidelines for the Gilbert Heritage District and to amend the parking requirements for residential uses in the Heritage District.
<i>August 16, 2018</i>	Town Council adopted the 2018 Heritage District Redevelopment Plan.
<i>January 2019</i>	Technical Committee and Stakeholder Group Kick Off and Initial Input.
<i>February 2019 – April 2020</i>	Staff updates to design guidelines.

<i>July 15, 2020</i>	Redevelopment Commission Study Session for the first draft of the Design Guidelines.
<i>July 2020</i>	Technical Committee and Stakeholder Group Review of Draft Guidelines.
<i>August 11, 2020 – September 18, 2020</i>	Public Comment Review Period.
<i>October 14, 2020</i>	Stakeholder Group review of public comments needing Redevelopment Commission direction.
<i>October 21, 2020</i>	Redevelopment Commission Study Session regarding Public Comment Review Period.

Overview

The Gilbert Heritage District (the District) is approximately 0.3 square miles in size and serves as the community's downtown. The District is the original town site and represents the cultural and historical center of the community.

The intent of the Heritage District Design Guidelines is to foster design excellence that encourages a dense, pedestrian-oriented, high quality and lively environment that serves as the community's living room. The guidelines are meant to be adaptable in order to provide opportunities for truly exceptional and creative solutions that improve the District.

In 2010, Town Council adopted a set of Heritage District Design Guidelines intended to:

- Build and expand on the Town's existing policies as expressed in the General Plan, Land Development Code and the Redevelopment Plan
- Maintain and build upon the unique sense of place and character in the Heritage District
- Communicate the Town's design expectations for the District to facilitate the review process for owners and applicants, the Redevelopment Commission and staff

In 2018, the Town Council adopted an updated Heritage District Redevelopment Plan. The objective of the document is to identify and prioritize short, middle, and long-term goals for the Heritage District over the next 10 years.

Leading up to and throughout the Redevelopment Plan process, there was extensive public outreach including meetings with the Chamber, the Heritage District Merchants, Stakeholders, the Technical Committee, and public meetings, as well as the online survey which produced 4,000 responses. All of the input gathered during the five-year outreach has been organized and broken down into recurring categories:

- Open space
- Quaint unique buildings
- Farming heritage
- Historic preservation
- Western architecture
- Better traffic flow & access
- Bike paths
- Directional signage
- Pedestrian friendly

- Greenery
- Uniformity of on-street parking
- Boutiques
- More residential focus
- Guidelines for alleyways
- Character and culture
- Arcades & canopies that fit the character
- Authentic neighborhood feel
- Pedestrian focus
- Charm
- Addressing crime
- High, wide open seating areas
- Restrooms & water stations
- Encouraging the arts
- Good lighting
- Multi-family with cottage or rowhouse aesthetic
- No gated multi-family
- Shading
- Safety
- View of the water tower
- Family friendly
- Minimize surface parking
- Bike parking

2020 Design Guideline Updates

The purpose of design guidelines is to provide recommendations towards good practice in design for both developers and residents. The American Planning Association describes design guidelines as inspirational and educational recommendations to open possibilities and challenge people to make better buildings.

The 2010 Design Guidelines provided an exceptional baseline for the update but was at times hard for developers and residents to follow, was text laden as opposed to providing clear visual direction and needed updates to match development standards for today and into the future. As such, a set of goals was developed for the 2020 Design Guidelines to be:

- Comprehensive and begin to solve challenges faced by all departments
- Easy to navigate
- More visual to demonstrate what the Town is trying to achieve
- Innovative – think of the future evolution of the Heritage District
- Efficient and succinct

Staff reviewed more than 20 sets of design guidelines from across the US and selected a few to serve as best practices which met the above stated goals. The Watertown, Massachusetts and Bethesda, Maryland design guidelines became guiding examples of well-organized, clear communication of ideas with well depicted street cross sections and streetscape vernacular.

Gilbert kicked off the Design Guidelines update in January 2019 by holding a meeting with the Technical Committee comprised of Gilbert staff and with a stakeholder group comprised of residents, business owners, property owners, developers, a member of the Redevelopment Commission and the Council Liaison. Requests from the committee members were part of three overarching categories: retaining the current 55' height, retaining the historical character of the District and providing flexibility so that

developers and residents can bring forth the best designs possible. As such, there are no requested changes in height and historical character is preserved along Gilbert Road. To allow for architectural flexibility, the 3rd floor stepback requirements have been modified to only be applicable along the perimeter of the District when adjacent to single family residential zoning.

In February and March 2019, staff made initial text edits based on the kick-off meetings with the intention to bring the text amendments and updated guidelines to the committees. It was at this time, staff decided that if the design guidelines were to be user friendly and to challenge developers and residents to achieve high quality design, they needed more than “inspirational imagery”. A web landing page was created to ensure the public was informed regarding the design guideline process and timeline. From May 2019 – September 2019, staff overhauled text and laid the foundation for image-based design guidelines. From October 2019 – April 2020, staff worked with Architekton, to develop axonometric images for each of the street sections, neighborhoods and public spaces.

FORMAT:

The design guidelines include four sections:

- Blend (Commercial Development Projects)
- Congregate (Public Space Projects)
- Dwell (Residential Development Projects)
- Create (Appendix)

The sections related to development or projects include:

- A description and adjectives describing the experience
- An axonometric image visually demonstrating the anticipated development standard/quality
- Inspirational imagery
- Requirements for each area of development

As depicted in the Design Guidelines, the Heritage District is not meant to be homogenous, but rather celebrate each unique area based on its needs and future development. Common themes are woven throughout the district in order to ensure that it retains the unique feel and charm it has today while allowing it the ability to grow and mature.

In July 2020, a Redevelopment Commission (RC) Study Session was held to provide staff with initial input and direction regarding the draft Design Guidelines. Staff then met with both the Technical Committee and Stakeholder Committee to receive their feedback on the draft Design Guidelines.

Staff opened a public comment period from August 11, 2020 through September 18, 2020. 317 comments from the public. Staff has responded to each of the public comments and commenters via the attached public comment workbook. Of the comments:

- 89 were accepted
- 162 were declined
(note: decline was also utilized when a question was asked, or a comment received and did not require a direct text edit)
- 23 not applicable
- 31 required Redevelopment Commission input
- 12 required Staff Discussion

Staff met with the Stakeholder Committee on October 14, 2020 to receive their feedback on three main areas of concern as noted by the 31 public comments requiring Redevelopment Commission input:

- Single Family Residential
- Congregate: Paseo, Veterans & Legacy
- Create: Plant Palette

On October 21, 2020, staff presented the three areas for Redevelopment Commission feedback and received direction for updating and completing a second draft of the Design Guidelines. Staff has now completed all text edits from the public comment as well as the direction received from the second RC study session.

LAND DEVELOPMENT CODE (LDC) UPDATES

The updated Design Guidelines will require modification to the Land Development Code and will be included in the LDC Refresh:

- Removed 3rd floor 1:1 building stepback requirement except for projects which are located on the perimeter of the Heritage District or located adjacent to single family residential neighborhoods. In this case, a 10' stepback required at 3rd floor would be required as measured from the property line.
- Build-to-lines, transparency, storefront access will now be addressed in the Design Guidelines instead of the LDC.
- Some streetscape plant material requirements have been modified to reflect the Design Guideline images.

- Signage has been removed from Design Guidelines. As such, any reference to refer to the design guidelines in the Heritage Village Center signage will be removed.

REQUESTED INPUT

Staff is requesting the Planning Commission provide comments on the draft design guidelines.

Respectfully submitted,



Amanda Elliott
Redevelopment Program Manager



Amy Temes
Principal Planner

Attachments and Enclosures:

- 1) Draft Heritage District Design Guidelines December 2020
- 2) Public Comment Workbook Final



**Z19-01: Heritage District Design Guidelines
Attachment 1 - Draft Heritage District
Design Guidelines, December 2020**

HERITAGE DISTRICT DESIGN GUIDELINES

DRAFT December 2020



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Heritage District Design Guidelines **DRAFT 2020**

FOR MORE INFORMATION

Contact the Office of Economic Development
regarding the Design Guidelines or activities
in the Heritage District

Gilbert Office of Economic Development
90 E. Civic Center Drive
Gilbert, AZ 8529

480-503-6700 voice
econdev@gilbertaz.gov

gilbertedi.com | gilbertaz.gov

Acknowledgments

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CONSULTANT

Architekton



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- 2 Blend** *(Commercial Development Projects)*
- 3 Congregate** *(Public and Private Space Projects)*
- 4 Dwell** *(Residential Development Projects)*
- 5 Create** *(Appendix)*

Objective and Use of Guidelines **DRAFT 2020**

The purpose of this document is to:

- a) Facilitate the review process by communicating to the community the design expectations for new construction and exterior renovation projects within Gilbert's Heritage District (as defined by the District boundaries identified within the Heritage District Redevelopment Plan)
- b) Facilitate the fair and consistent application of design objectives
- c) Protect investment in the community by encouraging consistently high quality development
- d) To achieve high-quality built form
- e) To promote development that is compatible with and complements its surroundings
- f) To foster compact, pedestrian-oriented commercial and multifamily development linked to street level amenities
- g) Facilitate safe, comfortable, functional and attractive development
- h) Encourage commercial development of shaded outdoor spaces for the use and benefit of residents, employees and visitors
- i) To accommodate varied uses including retail, commercial office, education and residential where one can live, work, shop and play
- j) Foster a sense of place and pride in visiting, working and living in the District
- k) Enhance the quality of life for all residents in the area
- l) Provide residents with a connection to the community's roots and history

Objectives:

The guidelines are intended to promote continuity of the character within the District, strengthen the pedestrian environment, create a compact and diverse downtown, establish high quality architecture, create a distinct District landscape character, create coherent and consistent street spaces, and ensure that off-street parking does not impact the historic character of the area by promoting:

- a) Exterior renovations and new construction that strengthen and maintain the early 20th century integrity of individual buildings and of the District at large. This excludes ongoing maintenance of existing structures
- b) Compact development so that buildings are located closer together along pedestrian-friendly streets and public places to create interest
- c) Narrow streets designed for slower speed, creating a safe, attractive environment for all transportation modes (pedestrians, bicycles, buses and cars)
- d) Street-oriented building fronting directly onto sidewalks with ground-floor transparency, pedestrian orientation, storefront massing, and entries to the street, creating a sense of enclosure and safety by providing visual contact (doors and windows) with the street
- e) Interconnected streets to provide for better dispersal of traffic and curbside parallel parking located on the street, which helps create a buffer between pedestrians and the street
- f) An urban environment that supports social interaction and is focused on the health of neighborhoods within the Heritage District
- g) Quality and varied architectural character that respects the district's unique historic themes
- h) Alleyways that are immediately recognized as a flexible pedestrian/auto environment

Objective and Use of Guidelines **DRAFT 2020**

Applicability

The Redevelopment Commission is created to encourage development and redevelopment in the Heritage District Overlay District and other redevelopment areas designated by the Town Council, consistent with any adopted redevelopment plan and other applicable requirements. This governing board has the powers and duties to review and recommend approval, approval with modifications and/or conditions, or denial as outlined in the Town of Gilbert Land Development Code.

The standards and guidelines set forth in this manual apply to all commercial, residential and public properties within the Gilbert Heritage District. To achieve these purposes, the Guidelines apply to all new developments and substantial building alterations that require Redevelopment Commission, Planning Commission, Town Council or administrative review by Town staff. These guidelines shall be used by developers and architects when designing projects, referenced by the Redevelopment Commission and Planning Commission when evaluating projects and by the Town Council when hearing appeals. These guidelines are also to be used by staff when reviewing applications in the Heritage District.

Use of Guidelines

The provisions set forth in this document identify the desired level of design quality for commercial and residential development. Flexibility and innovation is necessary and encouraged to achieve excellent designs. Each application for Heritage District development should demonstrate to what extent it incorporates these guidelines.

The Redevelopment Commission may approve alternative design approaches that foster design excellence and better meet the intent of the guidelines. Applications that do not meet specific guidelines applicable to that project should provide rationale and explain how the proposed project contains equally good or superior design elements that are not identified in these Design Guidelines yet better meets the intent of the General Plan policies, Heritage District Redevelopment Plan, Land Development Code's provisions, and these Guidelines. The determination as to whether a project provides an improved design will be made through the design review findings required by the Land Development Code as determined by the Redevelopment Commission.

Town of Gilbert Guiding Documents

GENERAL PLAN: A guideline to the Town's future development goals and provides policy statements to achieve those development goals.

LAND DEVELOPMENT CODE: Regulations for the development and use of property including zoning, subdivisions, and other related land use activities.

REDEVELOPMENT PLAN: A plan for the acquisition, clearance, reconstruction, rehabilitation or future use of a redevelopment project area.

DESIGN GUIDELINES: A set of recommendations on how to apply design principals in an area to ensure that rehabilitation and new construction respect the character of the designated district.

Objective and Use of Guidelines DRAFT 2020

Guidelines Components

The Commercial Development (Blend) Section is comprised of the following guidelines:

Environment: Pedestrian environment and interface with project

Move: Circulation of pedestrians, bicycles, micromobility and cars

Service: Systems supplying a public need such as utilities

Massing: How the building structure in three dimensional form influences the sense of space which the building encloses

The Open Space Section (Congregate) and Residential Neighborhood Section (Dwell) are comprised of the following guidelines:

Environment: Development features that affect the pedestrian environment or use of space

Relationship: How the development influences the sense of space

Benefit: How the features enhance experience within the Heritage District

Street Sections

The street sections provided in the Blend chapter are intended to illustrate the vision and circulation for the identified streets types.

PEDESTRIAN PATHWAY

PZ: Pedestrian Zone

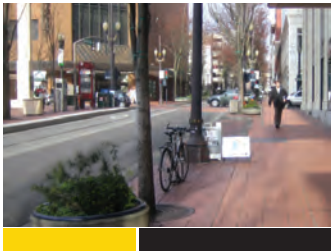
An unobstructed area for pedestrian through-movement, free of cafe seating, sandwich boards, signal poles, utility poles, etc. This zone should not be interrupted by driveways on retail streets or the Paseo.



FURNISHING

FLZ: Furniture/Landscape Zone

The location for all elements supporting pedestrian, vehicular and bicycle use of the right-of-way, including sign poles, lighting, street furniture, landscaping, and bicycle parking. This zone is interrupted at corners and driveways.



LANDSCAPED SEPARATION

LZ: Landscape Zone

A continuous area of landscaping that acts as a buffer between a pedestrian or bicycle path and adjacent uses such as a roadway, railway, private property, or parking.



LANDSCAPED SEPARATION

LPZ: Landscaped Parking Zone

A curbside parking zone within the roadway that consists of planting beds alternating with parking stalls.



PASSENGER LOADING ZONE

PZ: Door Zone

This area provides access to the pedestrian zone from the curbside lane. The temporary space allows for passengers to open doors safely and exit vehicles without obstructing the sidewalk.



FLEX LANE

FC: Flexible Curb

This area provides access to the pedestrian zone from the curbside lane. The allowable use (on street parking, passenger lading zone, commercial loading zone) along the curb flexes based at designated times.



ON STREET PARKING

OSP: Street Parking

This area provides access to the pedestrian zone from the curbside parking lane. The space allows for passengers to open doors safely and exit vehicles without obstructing the sidewalk or impacting the arcade structure.



SHARED ROADWAY (VEHICULAR & BICYCLE)

↓↑ Directional traffic

VEHICULAR ROADWAY

↓↑ Directional traffic

Objective and Use of Guidelines **DRAFT 2020**

How to Use the Design Guidelines

Commercial Development Projects

Proceed to Chapter 2 – Blend.

This section provides project guidelines by Street Type.

1. Identify the location of your project site on the map to determine the street type your project fronts.
2. Proceed to the associated street type to review the design guideline requirements.
 - a. If your Development fronts multiple streets, follow the street section for each frontage and provide transitions in the case where two street sections meet.
 - b. If your development is adjacent to a public space, reference the public space requirements in Chapter 3 – Congregate.

Public and Private Open Space Projects

Proceed to Chapter 3 – Congregate.

This section outlines the requirements for public and private open spaces and projects fronting public and private open spaces.

1. Identify the public space.
2. Proceed to the associated public space to review the design guideline requirements.
3. Reference the Blend cross-section to better relate with the surrounding environment.

Residential Development Projects

Proceed to Chapter 4 – Dwell.

This section outlines the design guidelines by residential and residential mixed use neighborhoods.

1. Identify the location of your lot on the map.
2. Proceed to the associated residential or residential mixed use neighborhood for the design guideline requirements.
 - a. If the location of your lot is adjacent to a residential alley, reference the street requirements in Chapter 3 – Congregate: Local Alley
 - b. If the location of your lot is adjacent to a commercial alley, reference the street requirements in Chapter 3 – Congregate: Flex Alley.

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BLEND

16 Blend Overview

18 Historic

22 Active

26 Connect

30 Festival

34 Local

38 Flex Alley

42 Local Alley

Design management of
a safe circulation network
and authentic character
throughout all street types.

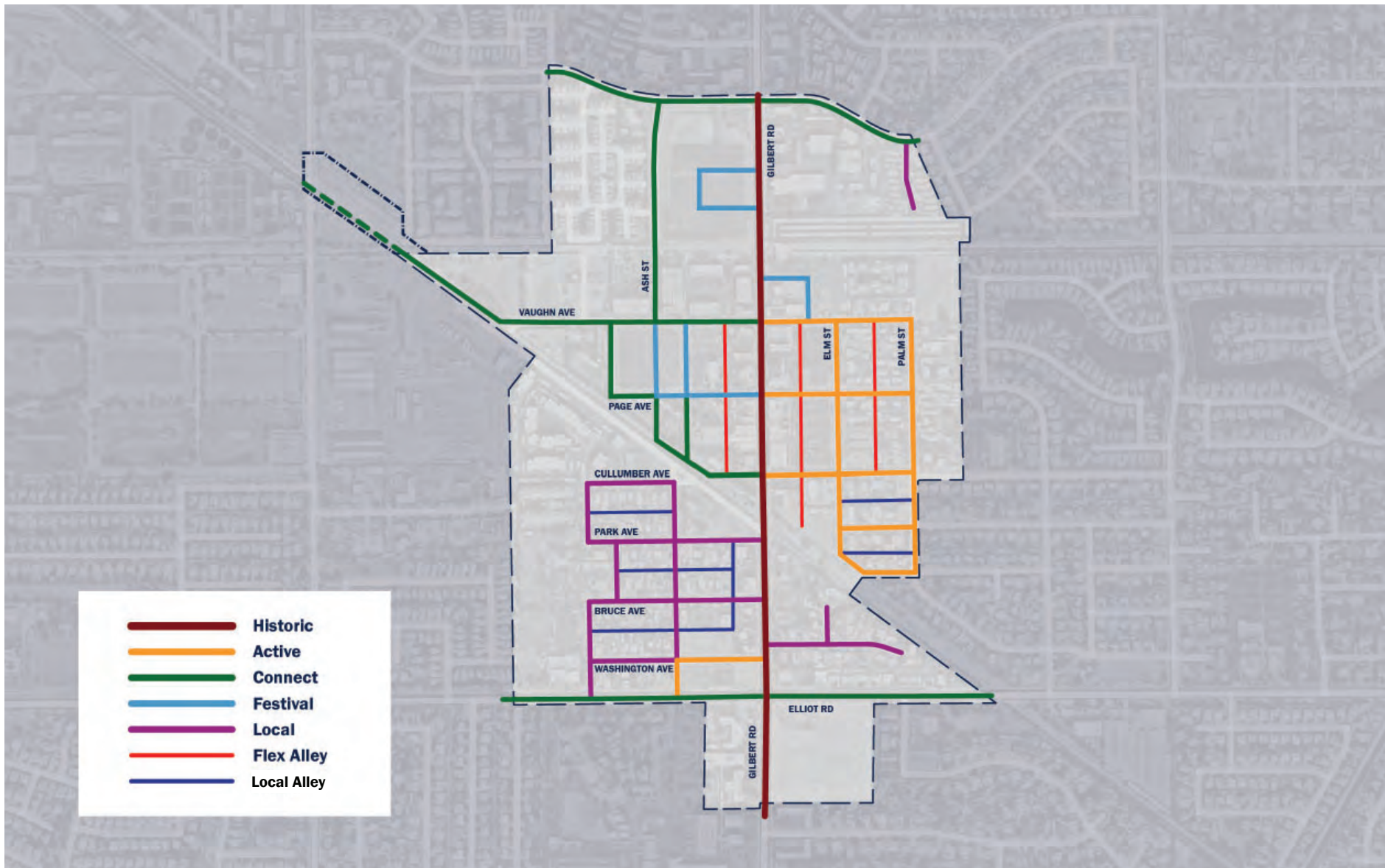
Blend Overview

Design management of the Heritage District will ensure that the downtown can achieve the benefits of a pedestrian-oriented, mixed-use center without impacting its intimate atmosphere and historical context.

The street sections provide a framework for the circulation network which focuses on pedestrians while ensuring a safe, direct and convenient route for all modes of transportation.

*Developments that front multiple streets should follow the street section for each frontage and provide transitions in the case where two street sections meet.





Historic

Early 20th-century main street highlighting the pedestrian experience while also supporting traffic volumes. For both new projects and substantial building alterations, design should respect the historical significance of the area.

EXPERIENCE

Iconic

(window displays, historic turn of the century architecture, historic lighting)

Active

(outdoor seating and retail activity)

Friendly

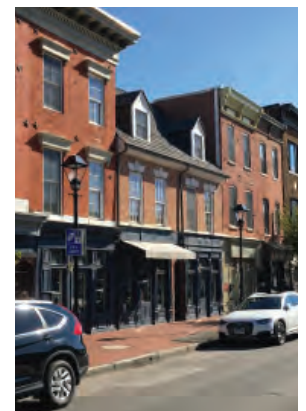
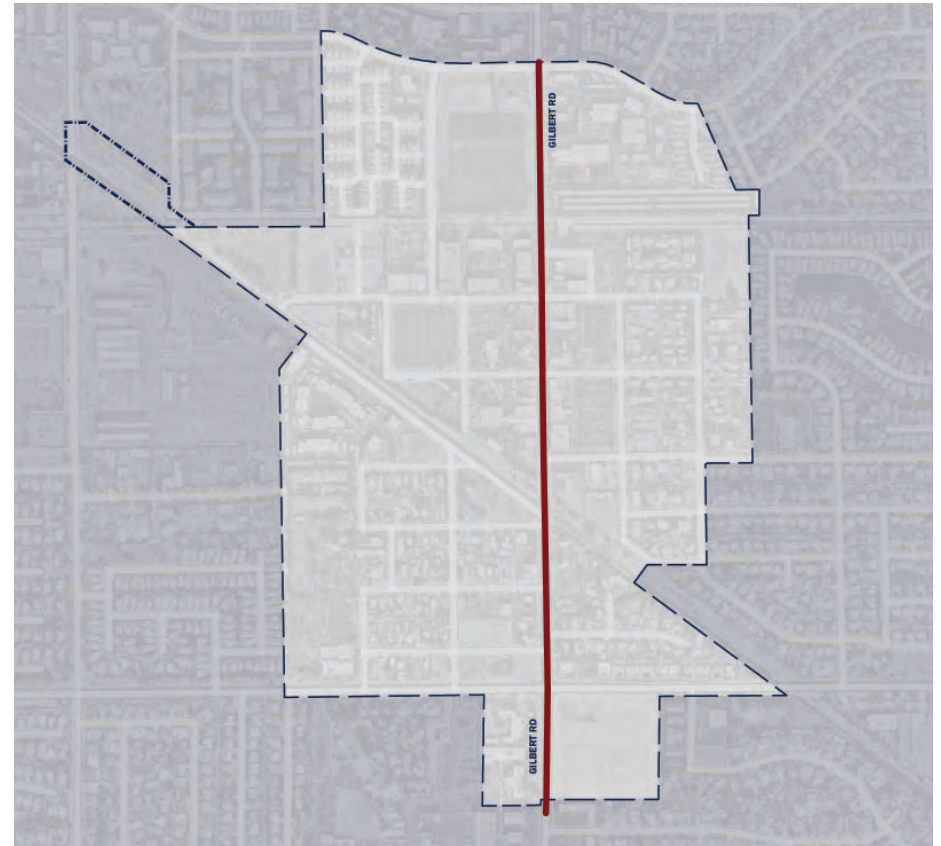
(pedestrian interaction)

Interpretive

(art and culture significant of Gilbert history)

Welcoming

(entrance features, light pole banners, Heritage District branding)





Street section legend is located on page 11



Historic

Environment

- Minimum 8' walkway
- Buffer pedestrians from traffic
- Awnings, arcades, canopies or trees for shade
- Street furnishings where sidewalk dimensions are greater than 8'
- Historic light poles with banners
- Misters or other climate control design
- Mixed use projects to incorporate wayfinding
- Balconies and terraces focused towards the street
- Active ground floors oriented to sidewalk
- Historic stylized projecting signs
- Large areas of first floor transparency (75% minimum)
- Entry doors and patios should not impact the 8' pedestrian walkway
- Retractable walls
- Architecturally appropriate windows and building articulation
- Frequent and distinctive entrances
- Patios along street
- High quality materials that contribute to the pedestrian experience and reinforce the History of Gilbert
- Historic architecture

Move

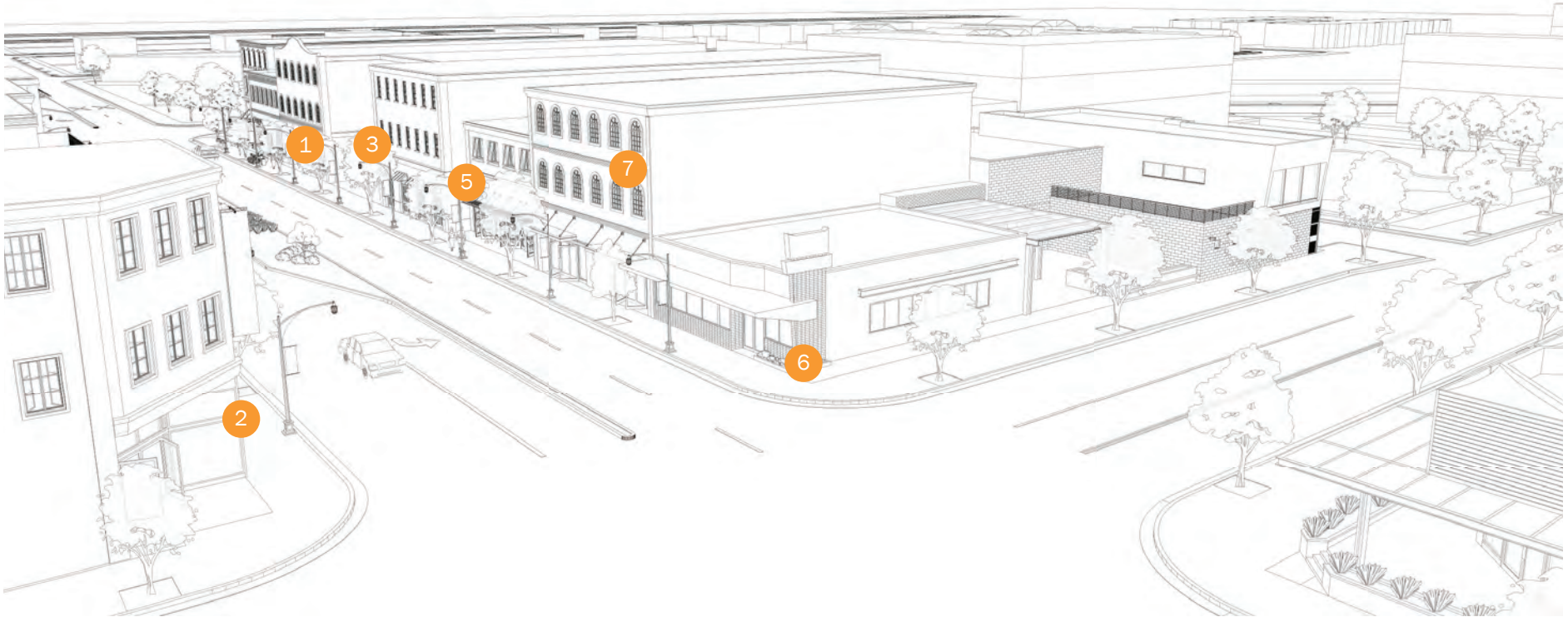
- No on-street parking
- Restricted curb cuts
- No on-street stopping
- No bicyclists or micro mobility
- Limited bus stops
- No new surface lot parking is to be visible from arterial and collector streets

Service

- No trash services from Historic Street
- All mechanical equipment shall be roof mounted and architecturally screened
- Trash receptacles where space allows
- Grease bins internal to facility
- No Deliveries on Historic Street
- Loading and refuse collection shall occur after peak hours
- Utilization of Heritage District shared trash preferred when available
- Limit curb cuts from arterial and collector streets in order to minimize traffic stacking issues

Massing

- Facades shall vary vertically or horizontally every 30' – 50'
- 10' Build-to line shall be required
- Entries should be easily identified by architectural accents or massing
- Single story permitted when renovating an existing building but must have significantly distinctive historic architecture
- Two to three story preferred
- Historic vertical and horizontal articulation
- Design signature architectural features at intersection corners with building entries



The key design elements below shall be required for all new development:

- | | | |
|---|--|--|
| 1 Misters and other climate control design | 4 High quality materials that contribute to the pedestrian experience and reinforce the History of Gilbert | 6 Building construction within 10' of the street front property line |
| 2 Large areas of first floor transparency (75% minimum) | 5 Facades shall vary every 30' – 50' | 7 Early 20th Century Historic vertical and horizontal articulation |
| 3 Awning, arcades, canopies or trees for shade | | |

Active

Active streets present a mix of uses including office, retail and residential with a focus on walkability. These streets are supported by tree canopies and greenery.

EXPERIENCE

Walkable

(people strolling with dogs on leashes)

Shady and green

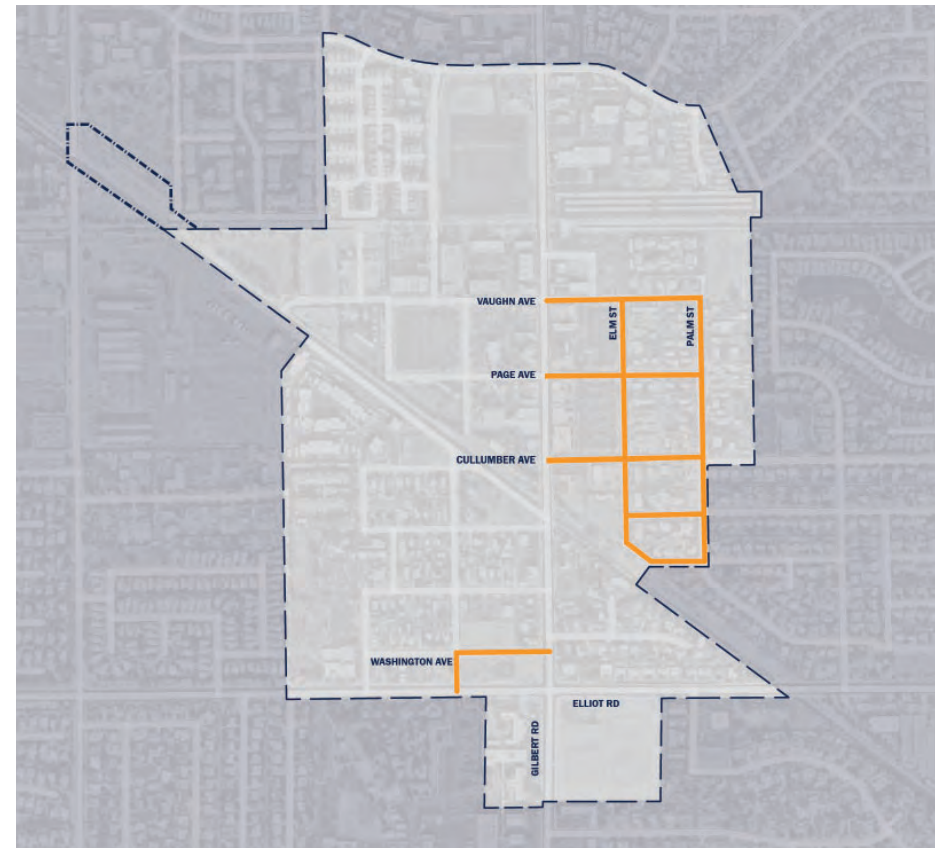
(lots of trees and shrubs)

Quiet

(people sitting on benches)

Charming

(subtle architectural character with balcony seating or people sitting on stoops)





Street section legend is located on page 11



Active

Environment

- Street trees in grates
- Historic light poles with banners
- Potted plants and hanging baskets
- Café furniture allowed where sidewalks are greater than 8'
- Street furniture
- Balconies and terraces facing the street
- Sidewalk buffered from street with landscape
- Detailed first floor articulation with texture and patterns
- Individual doors facing the streets may not impact the public sidewalk
- Non-residential uses require 75% transparency. Multifamily residential uses 50% transparency required
- Mixed use and residential character
- Use of red brick as a design feature

Move

- Required garages and parking off alleys or local streets
- 6' sidewalks minimum
- Designated on street parking and curbside passenger loading /delivery zones / short term parking

Service

- Flexible loading zones
- Bicycle parking
- Loading and refuse collection should occur after peak hours
- Internal grease bins
- Underground utilities

Massing

- Pedestrian scale
- Facades should horizontally vary every 50' to 80' to create obvious movement
- Vary vertical massing every 50' to 80'
- 2- 4 story preferred
- 10' stepback required at 3rd floor when located on the perimeter of the Heritage District. Stepback is measured from the property line or setback not the face of building



The key design elements below shall be required for all new development:

- 1** Balconies and terraces facing the street
- 3** Detailed first floor articulation with texture and patterns
- 5** Facades should horizontally and vertically vary every 50' to 80' to create obvious movement
- 2** Sidewalk buffered from street with landscape
- 4** Non-residential uses require 75% transparency. Multifamily residential uses 50% transparency required
- 6** The use of red brick as a design feature

Connect

Connect streets provide low speed ventilation of vehicular traffic while promoting active ground use spaces that foster a welcoming pedestrian mixed use environment.

EXPERIENCE

Busy

(traffic, drop-off/pick-up, people coming and going)

Shady

(trees and canopies)

Interactive

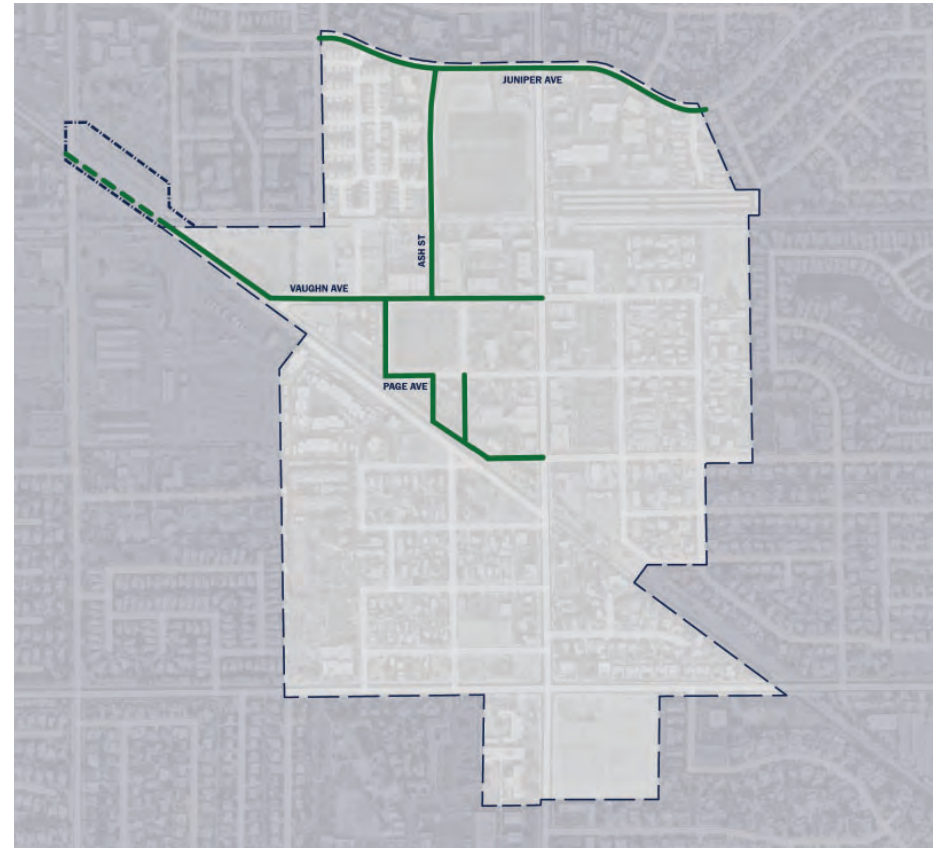
(people on balconies, decks with plants and people, outdoor cafes)

Fluid

(moves traffic and is flexible to change based on time of day needs)

Magnetic

(variety of shopping, entertainment, and university uses to attract people)





Street section legend is located on page 11



Connect

Environment

- Urban streetscape with trees in grates
- Street furniture
- Café seating
- Historic light poles with banners
- Entertainment, commercial and institutional uses that interface with the streetscape
- First floor articulation with timeless durable materials
- Active 1st floor or enhanced design to create interest
- 75% transparency
- Operable walls
- Minimize the width of driveways and entrances
- Door swings and outdoor café seating should not impede the minimum 8' pedestrian walkway

Massing

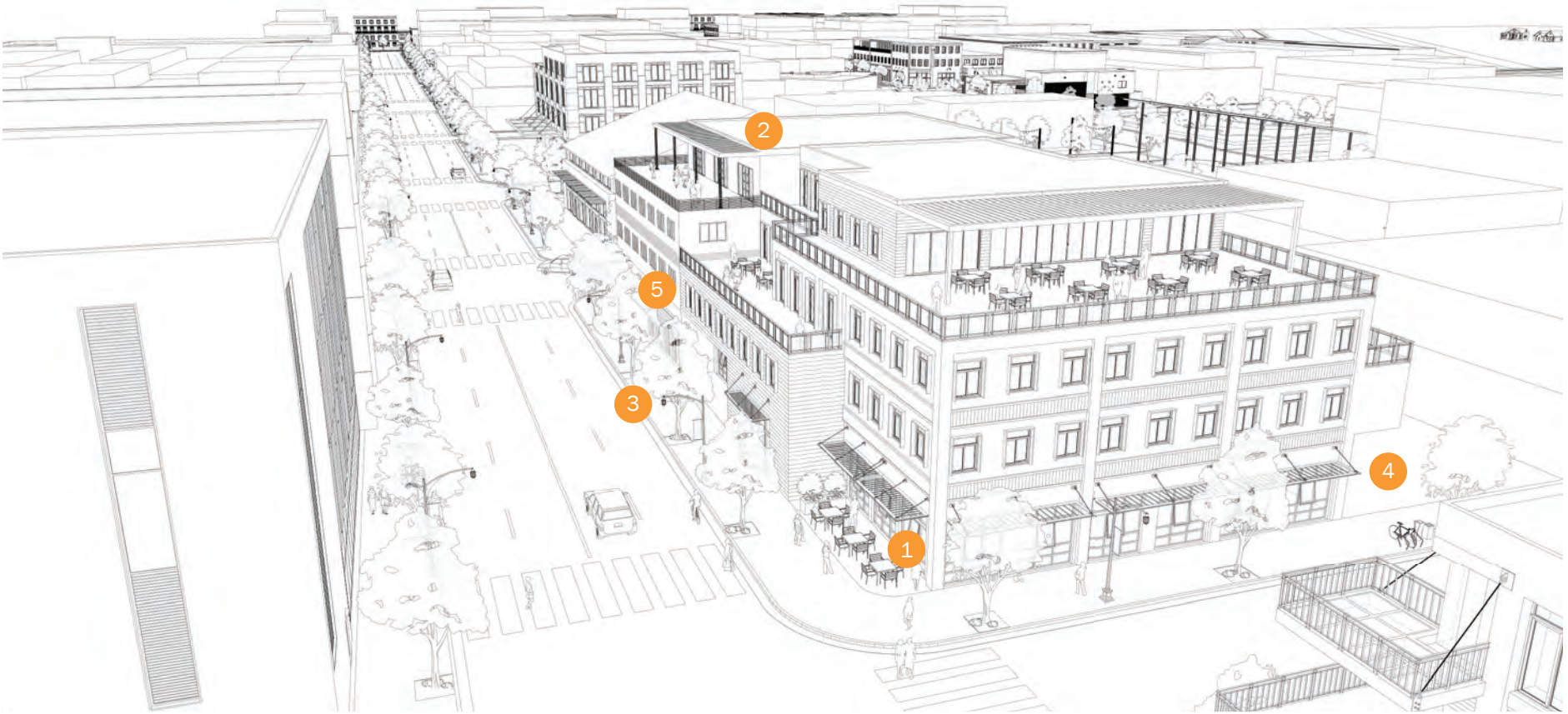
- 3 and 4 story buildings
- 10' setback at the 3rd floor when located on the perimeter of the district boundary. setback not the face of building
- Significant vertical and horizontal articulation every 30' to 50'
- Rooftop and at grade services should be architecturally integrated and screened
- Minimum setbacks encouraged

Move

- Grouped bike parking
- Access to alleys, parking garages and parking lots
- Curbside delivery zones
- No on street parking
- Parking screened from streets
- Designated pedestrian loading zones
- Flexible lanes to allow for ebb and flow of user and event needs

Service

- Avoid locating service areas facing existing residential
- Screen service areas and close decorative gates after hours
- Provide designated delivery zones
- Consolidated refuse in alleys or designed into a development
- All mechanical equipment shall be roof mounted and architecturally screened
- Internal grease bins
- Loading and refuse collection should occur after peak hours



The key design elements below shall be required for all new development:

- 1 Articulation with timeless durable materials and red brick elements
- 2 All mechanical service areas shall be architecturally integrated and screened
- 3 Flexible lanes to allow for ebb and flow of user and event needs
- 4 Consolidated refuse in alleys or designed into a development
- 5 Significant vertical and horizontal articulation every 30' to 50'

Festival

Low speed street with wide sidewalks and a curbless environment that promotes retail shopping, activity and events

EXPERIENCE

Vibrant

(people on balconies, roof decks, lots of people on the street)

Illuminated

(signs, festival lighting, historic light poles)

Appeals to all senses

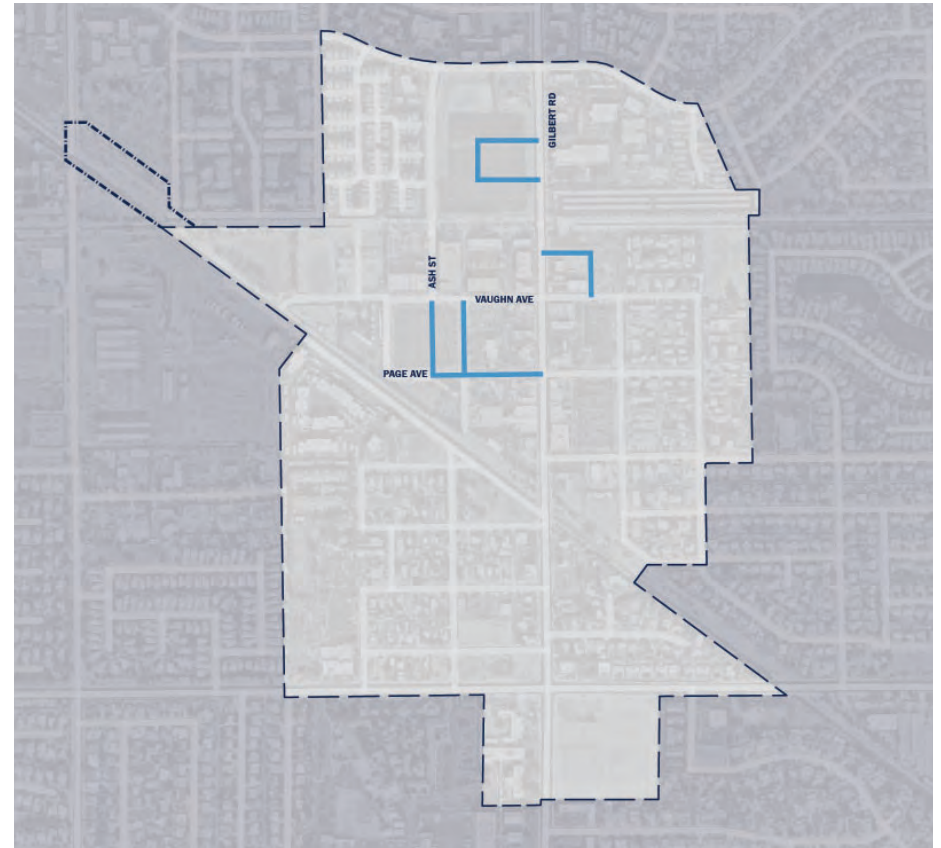
(banners, public art, vendors, street performers)

Bustling

(activity, entertainment, shopping)

Dynamic

(changing public space)





Street section legend is located on page 11



Festival

Environment

- Maximize pedestrian realm
- Overhead colorful shade sails, canopies or awnings at varying elevations extending over the sidewalk
- Banners on shade sail support poles
- Decorative bollards as public art and lighting
- Streetscape Seating
- Colorful and artistic storefronts and signage
- Shaded pocket courtyards/parks/patios
- First floor articulation with colors and patterns
- Lights over street and plaza
- Colorful potted planters
- Entertainment uses encouraged
- Active storefronts and outdoor sales
- Balconies, terraces and roof decks shall be integrated as a component of the project
- Flush curb, limited grade changes to maximize flexibility
- Limit curb cuts
- Storefront 75% transparency
- Operable walls

Move

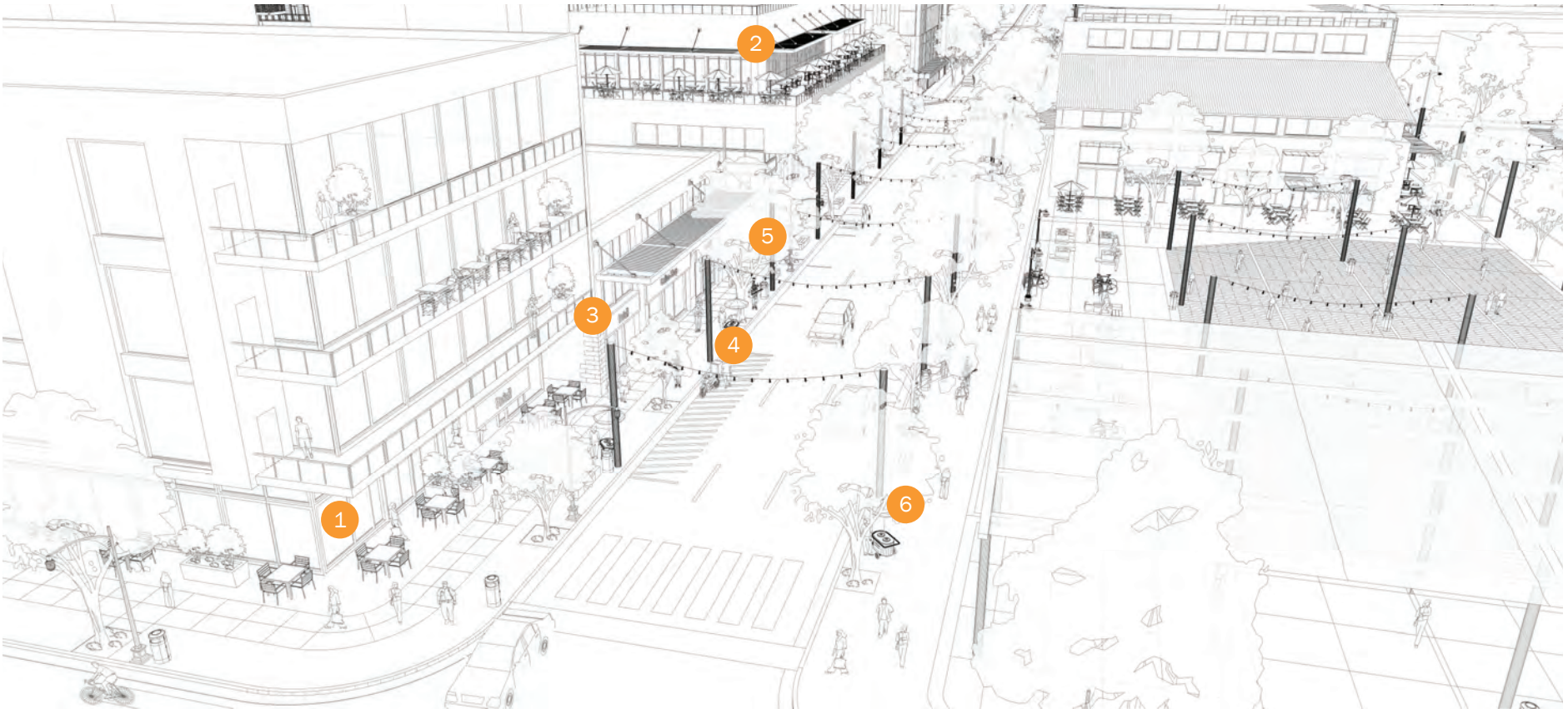
- Grouped bike parking
- Curbside ride share
- Required parking accessed from alleys
- Designated parkside vendor locations

Service

- Consolidated trash or internal to facility
- Mechanical equipment shall roof mounted and fully screened
- Commercial deliveries from alley
- Residential deliveries from the street
- Internal grease bins
- Loading and refuse collection should occur after peak hours

Massing

- 2-story and greater building massing required
- Significant balconies, decks, and catwalks required
- Vertical architectural articulation required
- Design signature architectural features at intersection corners with building entries



The key design elements below shall be required for all new development:

- | | | |
|--|--|--|
| <p>1 Overhead colorful shade sails, canopies or awnings at varying elevations extending over the sidewalk</p> | <p>3 Colorful and artistic storefronts and signage</p> | <p>5 2-story and greater building massing required</p> |
| <p>2 Balconies, terraces and roof decks overlooking the street shall be integrated as a component of the project</p> | <p>4 Colorful potted plants</p> | <p>6 Parking access and deliveries from alleys</p> |

Local

Not intended for through traffic, these streets contribute to a high quality of life for residents.

EXPERIENCE

Community

(people walking their dogs,
children on bikes, gardening)

Friendly

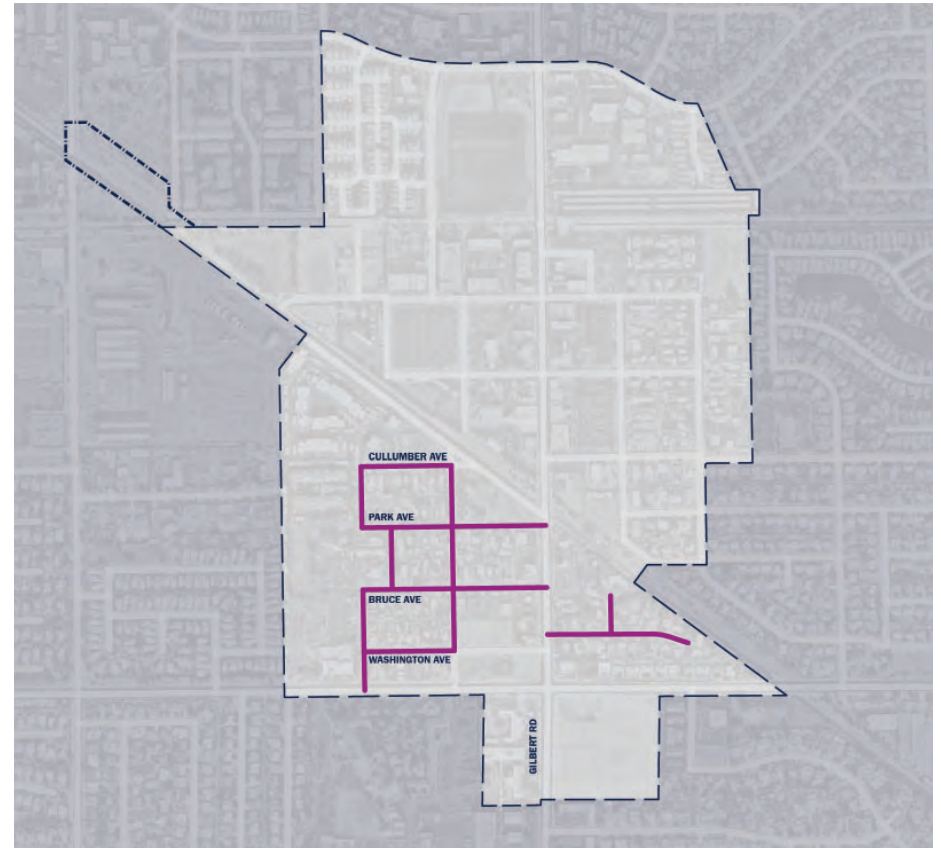
(neighbor interaction)

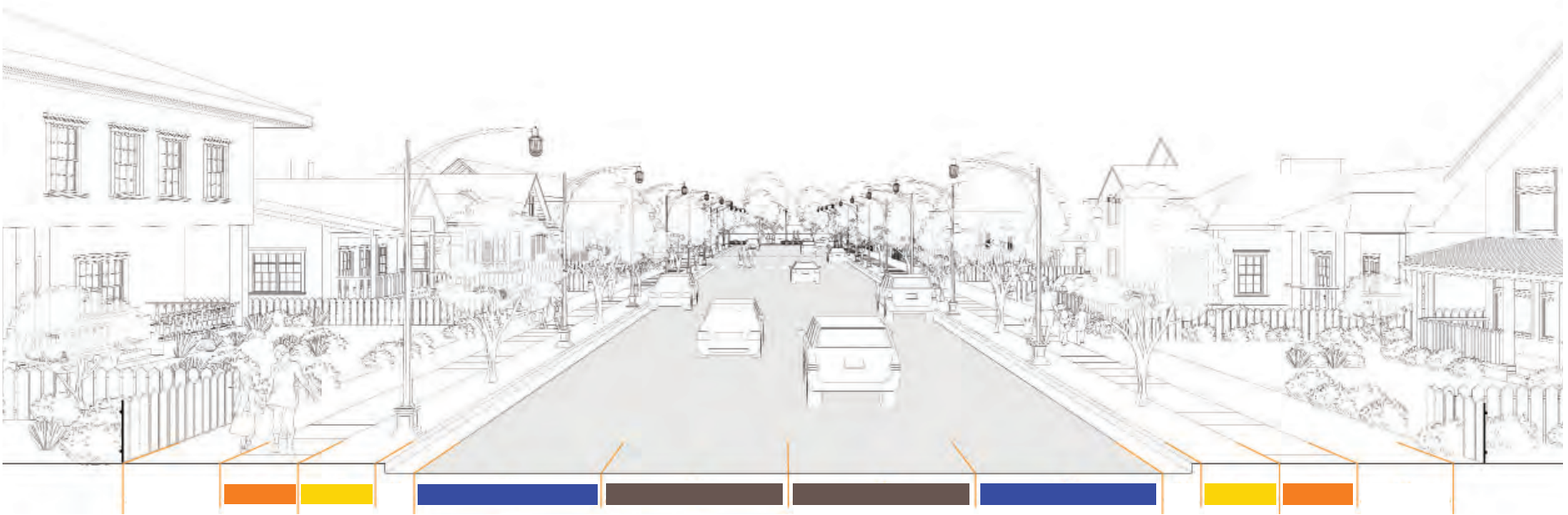
Quiet

(people sitting on a front porch)

Picturesque

(timeless neighborhood)





Street section legend is located on page 11



Local

Environment

- Street trees
- Sidewalks
- Tree lawn
- Historic architectural character tied to the period of the original plat
- Low front yard fencing
- Individual mailboxes
- 40% front transparency
- Horizontal and vertical architectural movement
- Porches, patios, stoops, courtyards, or fenced in yards

Move

- Curbside parking
- Two way traffic
- Local traffic
- 4' to 6' sidewalks

Service

- Curbside deliveries
- Curbside refuse pick-up
- Integrated solar as to not detract from the architectural style

Massing

- 1 and 2 story single family homes encouraged
- Front yards, courtyards, stoops, and balconies encouraged
- Recessed attached or recessed detached garages and carports
- Alley access optional



The key design elements below shall be required for all new development:

- 1 Street trees within a tree lawn
- 2 Historic architectural character tied to the period of the original plat
- 3 Porches, patios, stoops, courtyards, or fenced in yards
- 4 Recessed attached, recessed detached, or alley loaded garages or carports

Flex Alley

Direct pathways which create a flexible environment allowing for deliveries and refuse collection at designated times and pedestrian thoroughfares and secondary entrances during other times.

EXPERIENCE

Busy

(delivery trucks delivering to buildings on at least one side, people passing through)

Flexible

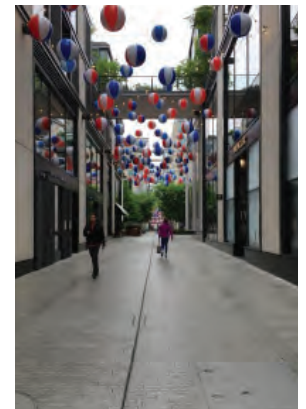
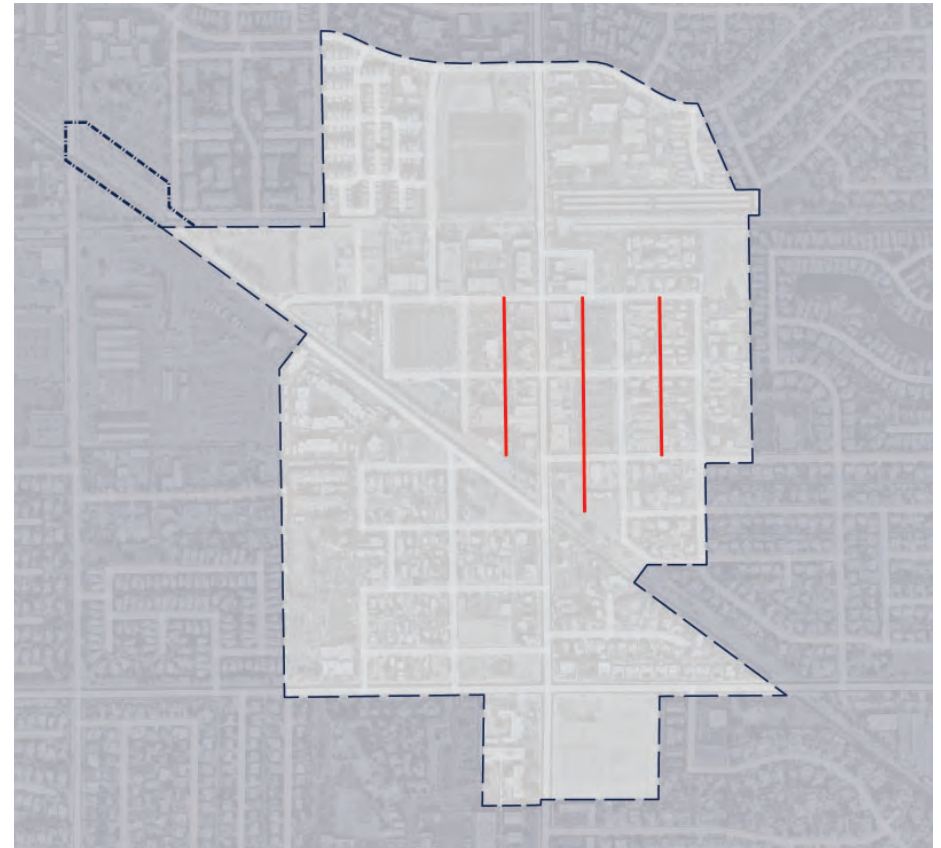
(designated delivery areas, secondary entrances)

Well lit

(lighting over doors and lighting by the sidewalk)

Interesting

(murals, service door art wraps, secondary entrance canopies)





Street section legend is located on page 11



Flex Alley

Environment

- Unique paving to indicate delivery spaces
- Pedestrian scale lighting
- Secondary entrances
- Weather control over doorways that do not impede circulation
- Art wraps on doors
- Balconies and terraces optional
- Limited patio space - secondary entrance or artwork encouraged
- Entry doors shall not impact the alley ROW/easement

Move

- No parking; delivery and loading only
- Designated delivery zone times
- Designated pedestrian zone times
- Limited passenger loading and unloading
- No bus parking

Service

- Trash services accessed from alley
- All mechanical equipment shall be roof mounted and architecturally screened
- Grease bins internal to facility
- Deliveries spaces noted with a change in specialty pavement

Massing

- Limited horizontal articulation
- Encourage compact zero lot line design
- Historic vertical articulation
- 360 degree architecture



The key design elements below shall be required for all new development:

- | | | |
|-----------------------------|---|--|
| 1 Pedestrian scale lighting | 3 No parking; delivery and loading only | 5 Deliveries spaces noted with a change in specialty pavement |
| 2 360 degree architecture | 4 Trash services accessed from alley | 6 All mechanical equipments shall be roof mounted and architecturally screened |

Local Alley

Alleys supporting residential needs with a focus on walkability. These pathways provide a clean safe environment for rear pedestrian, vehicular utility access.

EXPERIENCE

Comfortable

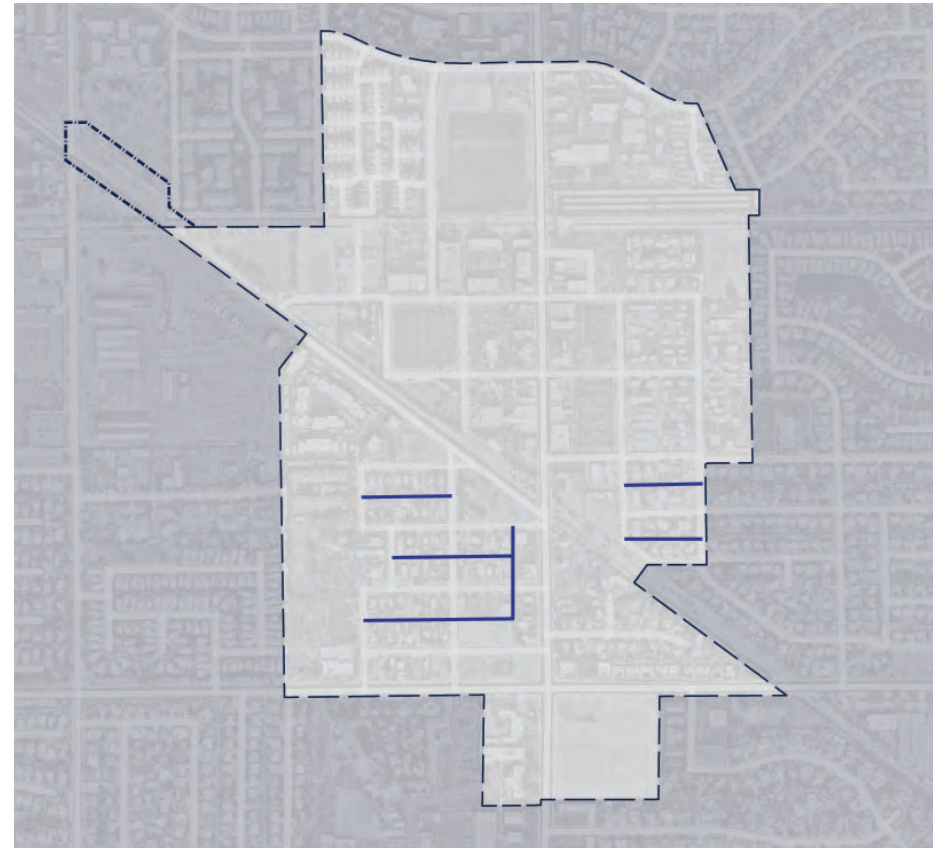
(gardens, wall murals, vines on walls)

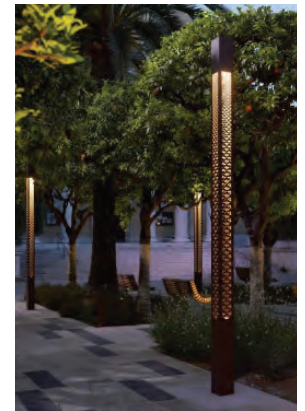
Safe

(pedestrian scale lighting and building lighting)

Connected

(pedestrian and vehicular access)





Local Alley

Environment

- Landscape may not be located within the 15' alleyway
- Specialty pavement may be considered
- Alley art walls are encouraged
- Vehicular access to garages, carports, and accessory structures
- Private gates access to yard
- Shared pedestrian vehicular pathway
- Open or decorative alternative art fencing optional
- Where buildings face the alley, windows and doors are encouraged
- Durable high quality materials
- Doors and gates should not open into the alley right of way

Move

- Limited local traffic
- Shared pedestrian vehicular pathway
- Clear unencumbered access

Service

- No solid waste service in the alley
- Unencumbered vehicular access to garages, carports, accessory structures and accessory dwellings shall be provided

Massing

- 1 and 2 story single family homes or accessory structures (except for land zoned HVC which would allow for up to 55')
- Recessed or detached garages with a 3' apron



The key design elements below shall be required for all new development:

- 1 Landscape may not be located within the 15' alley
- 2 Unencumbered vehicular access to garages, carports, accessory structures and accessory dwellings shall be provided
- 3 Shared pedestrian vehicular pathway
- 4 Doors and gates may not open into the alley right of way



CONGREGATE

48 Congregate Overview

50 Water Tower

54 Paseo

58 Veterans

62 Page Park

66 Commons

70 Legacy

74 Living Room

78 Western Canal

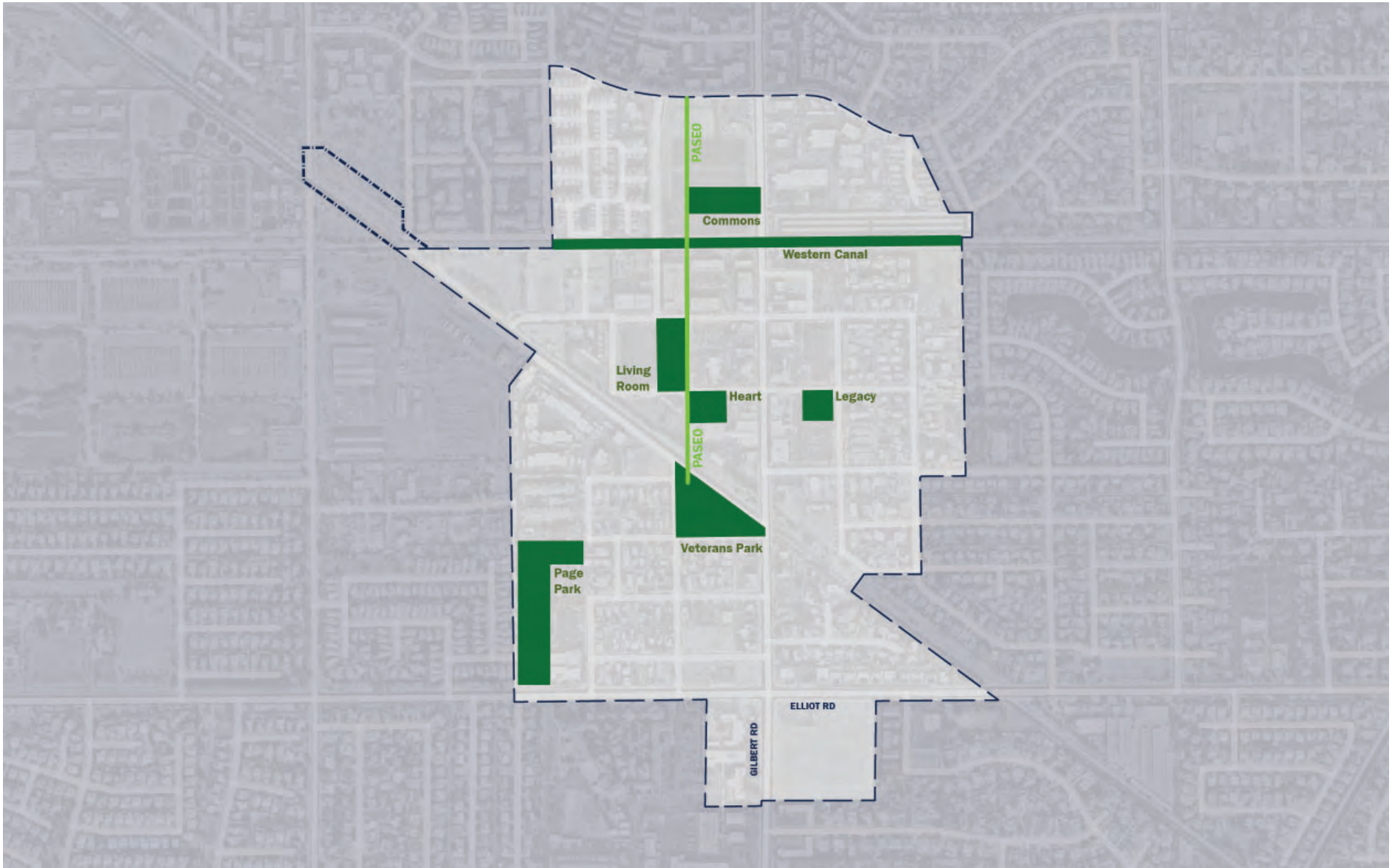
The District offers safe and accessible places for pedestrians first and foremost. Urban public spaces are human-scale and well maintained.

Congregate Overview

As the Heritage District is the cultural and historical center of the Gilbert Community and ultimately acts as the community living-room, the pedestrian environment and ability for residents and visitors to gather is critical to the District's success.

The urban spaces are well maintained, human-scale and accessible places for passive and active recreation.





Water Tower

As the first town purchase, the Water Tower was built in 1927. The plaza serves as the symbolic heart and cultural center of the community.

EXPERIENCE

Playful

(organized activities)

Interactive

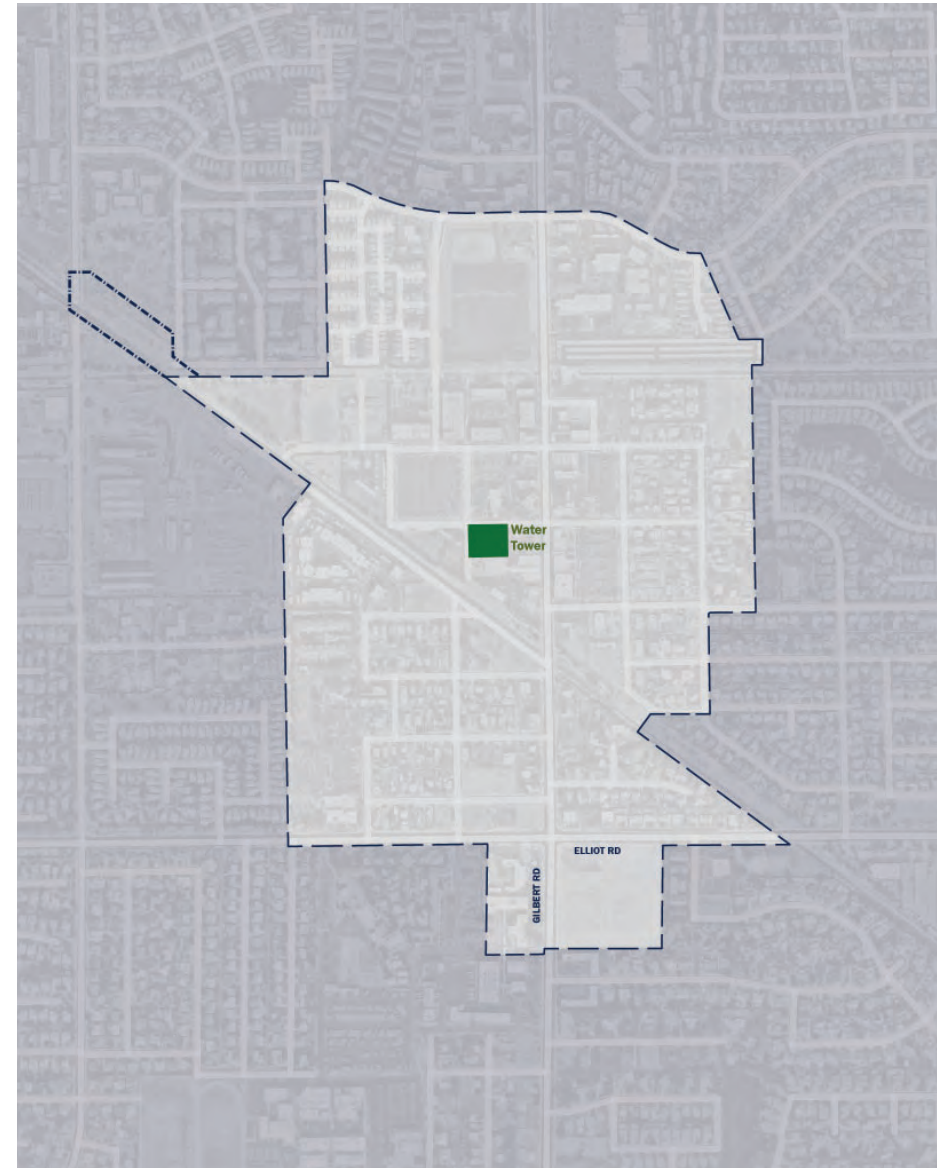
(public art, games, splash pad)

Historic

(Water Tower)

Family

(picnics, children, pets)



INSPIRATION



Water Tower

Environment

- Activation of space
- Gathering place
- Historic architecture and features
- Benches and tables
- Pedestrian scale specialty lighting
- Iconic light poles with banners
- Grade changes
- Misters and water features
- Retractable walls of surrounding developments shall face parks/open space
- Specialty paving
- Design to interface with surrounding development

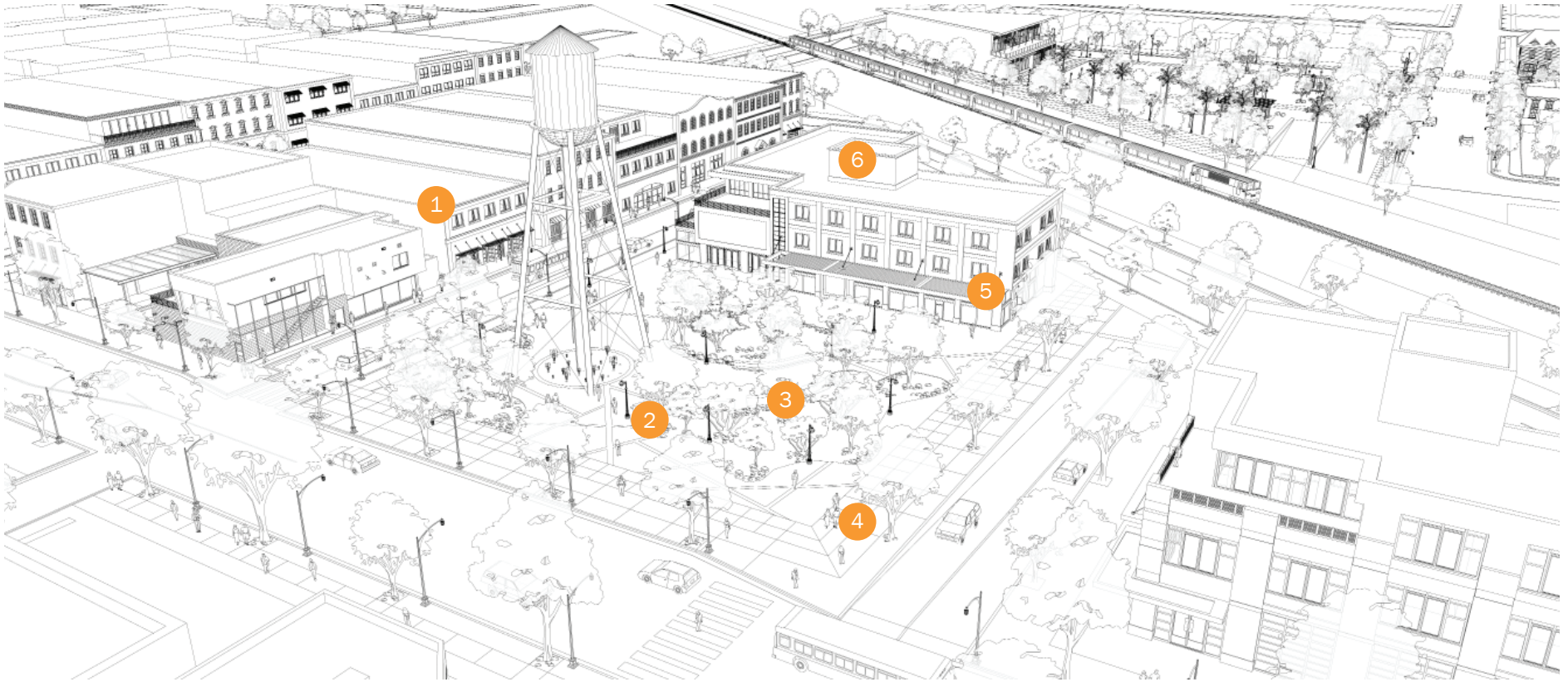
Relationships

- Ensure visual connection from street
- Ensure a connection to transit system
- First floor should include outdoor patios or active spaces
- Encourage compact zero lot line design
- Entries should be easily identified by architectural accents or massing
- Balconies, patios, courtyards and/or decks are required adjacent to the park for new projects
- Two to three story preferred

Benefits

- No bicyclists or micro mobility within the space
- All mechanical equipment shall be architecturally screened
- Trash receptacles where space allows





The key design elements below shall be required for all new development:

- | | | |
|---|--|---|
| 1 Historic architecture and features. Design interface between the park and the surrounding development | 3 Grade changes | 5 Retractable walls of surrounding developments shall face parks/open space |
| 2 Pedestrian scale specialty lighting | 4 Ensure visual connection from street | 6 All mechanical equipment shall be architecturally screened |

Paseo

Safe, continuous, and dedicated north-south pedestrian/bicycle route that links the neighborhoods to key redevelopment areas and public spaces.

The Paseo will vary with each segment throughout the District while unified design elements will guide the users along the path.

EXPERIENCE

Comfortable

(shaded nodes, good proportions, places to sit and observe surroundings)

Intuitive

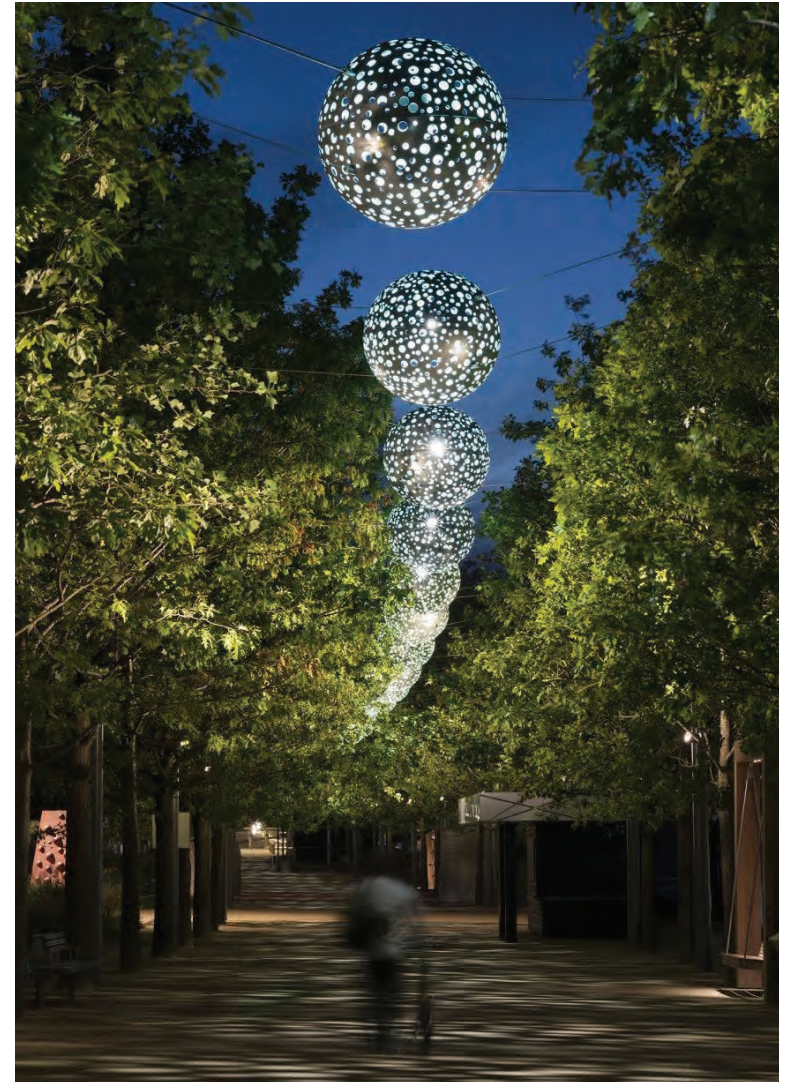
(easy way finding)

Safe

(well-lit and active)



INSPIRATION



Paseo

Environment

- 20' – 24' path multi use path depending on the location
- Permeable pavement
- Potted plants, outside of the require pathways
- Intermittent trees
- Distinctive lighting that shall provide ample light for safety at night
- Low water plants, outside of the require pathways
- Water stations, outside of the required pathways
- Wayfinding
- Low maintenance environment
- Shaded rest stops, outside of the required pathways
- Banners on poles

Relationships

- Active or transparent 1st floor when commercial buildings are adjacent to the Paseo
- Varying surrounding building heights
- Visibility of Paseo from surrounding developments and open spaces
- Balconies and outdoor open space connected and overlooking the Paseo
- Ensure connections to other trails and pathways
- Multi use pathway

Benefits

- Public restrooms
- Periodic bike parking, outside of the require pathways
- Trash receptacles provided, outside of the require pathways
- Nearby pedestrian loading zones/delivery zones
- Nearby parking
- All mechanical equipment shall be architecturally screened





The key design elements below shall be required:

- | | | |
|--|-----------------------------|--|
| <p>1 Balconies and outdoor open space connected and overlooking the Paseo</p> | <p>3 Multi use pathway</p> | <p>5 Active or transparent 1st floor when commercial buildings are adjacent to the Paseo</p> |
| <p>2 Distinctive lighting that shall provide ample light for safety at night</p> | <p>4 Intermittent trees</p> | |

Veterans

Acting as an urban park, Veterans Park, provides a multigenerational experience for residents. The park features both active and relaxation zones

EXPERIENCE

Family Oriented

(lots of families walking and playing)

Playful

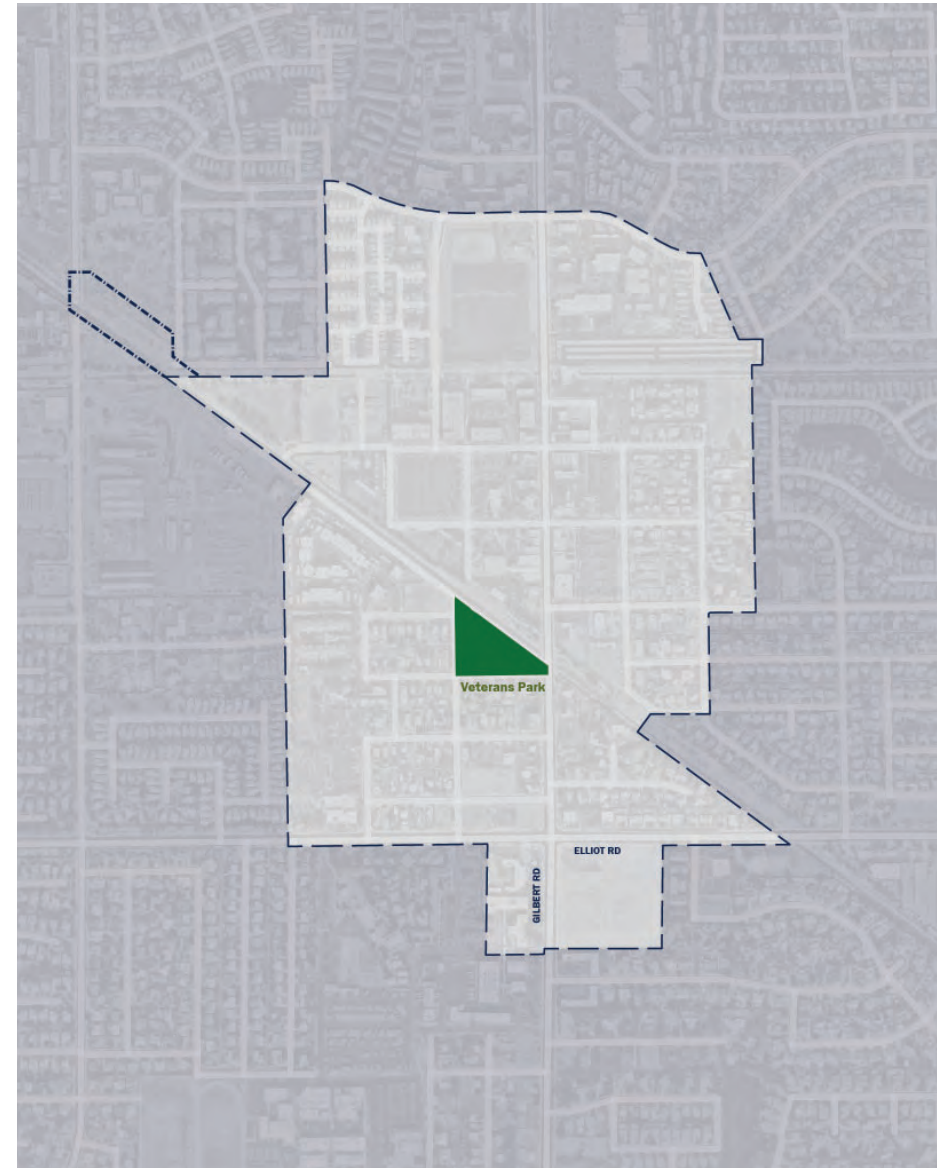
(playground, games)

Gathering

(ramadas for parties and BBQs)

Shaded

(lots of trees and shrubs)



INSPIRATION



Veterans

Environment

- Significant landscape and green space
- Large lawn area
- Playground
- Minimum 6' sidewalks
- Comfortable seating
- Climate control
- Multigenerational experience
- Low buffer from the railroad tracks
- Outdoor grills and ramada
- Preserve existing mature trees



Relationships

- 1 and 2 story structures surrounding the area preferred
- On-street parking
- Potential pedestrian connection over or under railroad
- Interface between the built environment and the outdoor space



Benefits

- Tree canopies which provide shade
- Surrounding on-street parking
- Paseo connection
- Limited traffic
- Trash receptacles provided





The key design elements below shall be required:

- | | | |
|---------------------------------|---------------------------------------|---|
| 1 Outdoor grills and ramada | 3 Large Lawn Area | 5 Climate control |
| 2 Surrounding on-street parking | 4 Low buffer from the railroad tracks | 6 Interface between the built environment and outdoor space |

Page Park

Page Park is a neighborhood park located next to the Gilbert Community Center and the Heritage Center. The park, which serves as a basin for water retention, features expansive lawn space and a large pavilion.

EXPERIENCE

Active

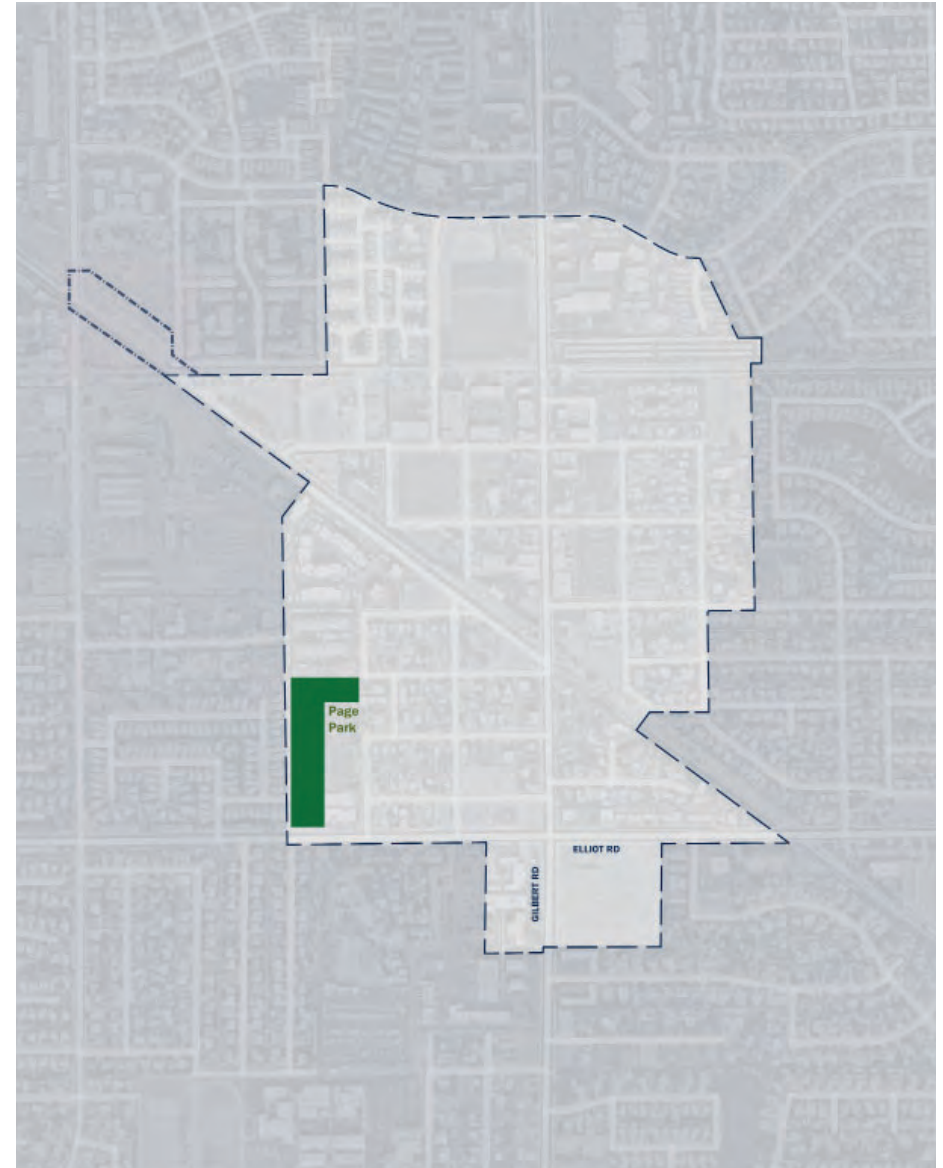
(outdoor recreation)

Gathering

(pavilion for parties and lawn space for outdoor movies)

Wide-open

(grassy area providing water retention)



INSPIRATION



Page Park

Environment

- Large Covered Pavilion
- Half-basketball court
- Drinking Fountains
- Large Grassy Open Area/Basin
- Park Benches
- Significant landscape and green space
- Large lawn area
- Preserve existing mature trees
- Stormwater retention

Relationships

- Interfaces with Gilbert Community Center and Page Park Center

Benefits

- Large expanse of grass for outdoor recreation and gatherings
- Ramada for party rental
- Parking available in surface lots
- Tree canopies provide shade





The key design elements below shall be required:

- 1 Stormwater retention shall remain unless a stormwater masterplan designates a new location
- 2 Preserve mature trees

Commons

Urban open space surrounded by shaded seating, walking, and play areas while providing a large open center visible from Gilbert Road. The space should be flexible for varying daily public use and activities or larger events.

EXPERIENCE

Artistic

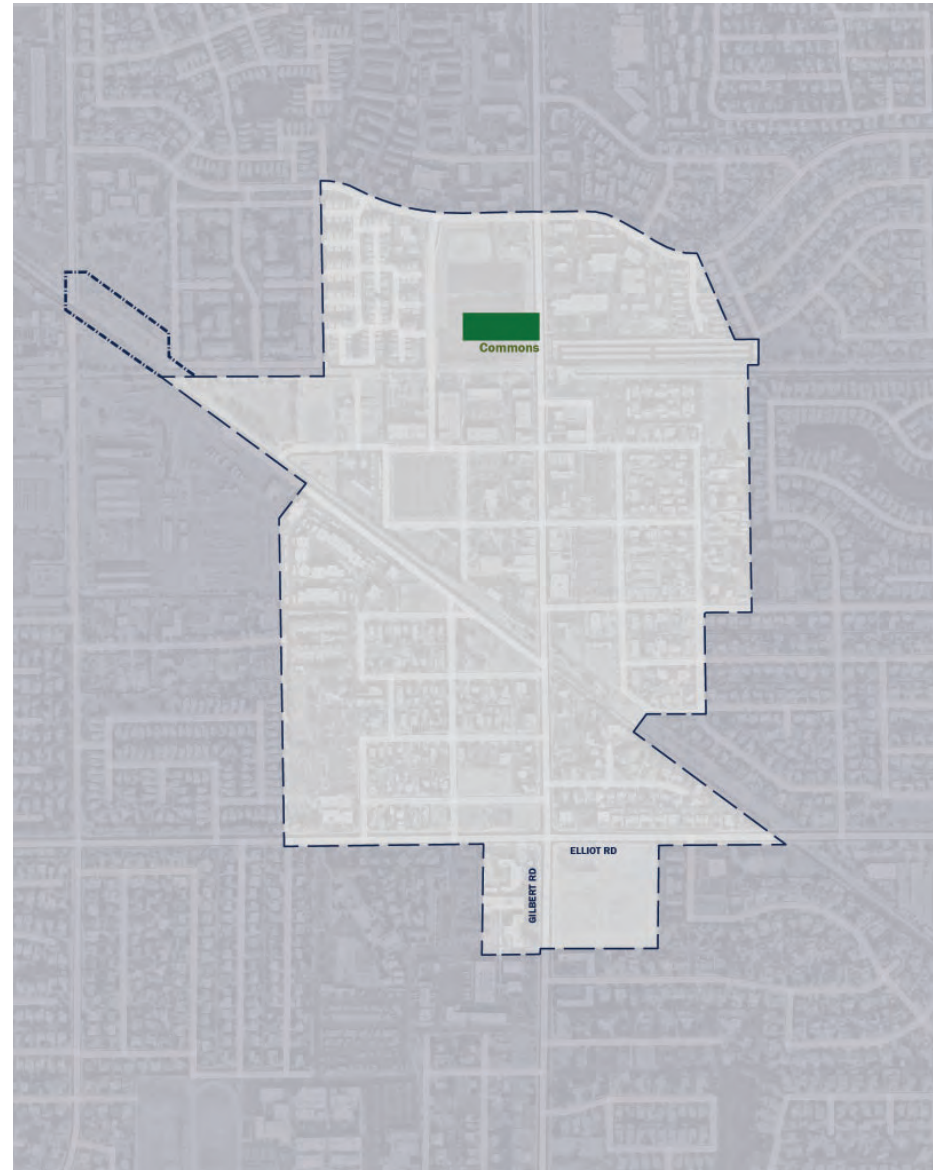
(performing arts or public art)

Multi-use

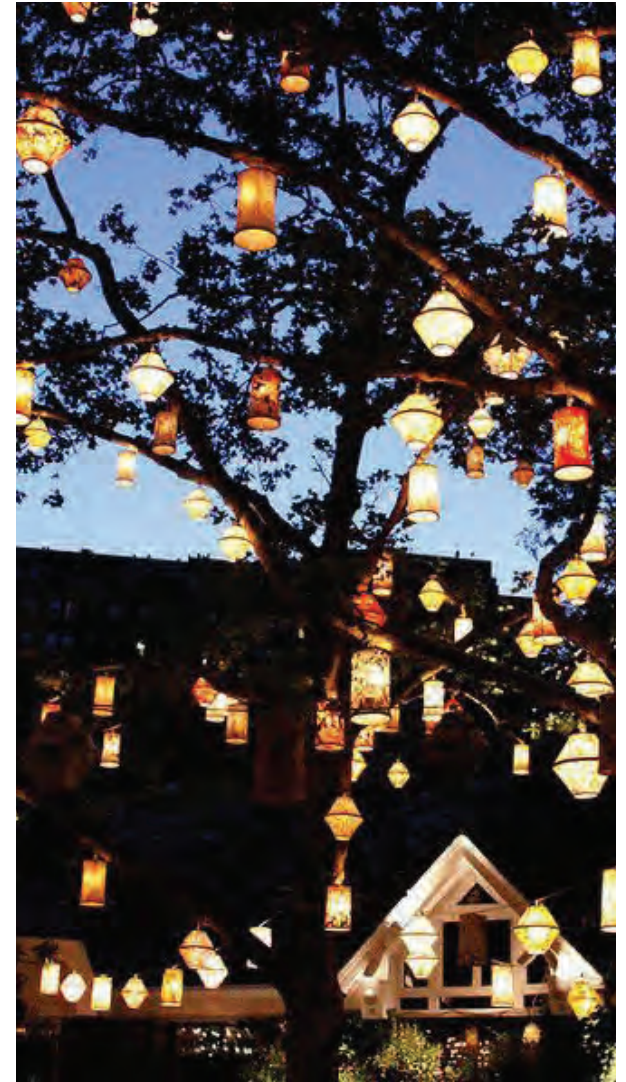
(vendor trucks around the edges)

Active

(yoga in the park, art classes, tai chi)



INSPIRATION



Commons

Environment

- Flexible design with predominate large lawn expanse for gatherings
- Shade provided by trees in grates or large colorful shade sails
- Flexible seating
- Creative distinctive lighting
- Flush curb
- Decorative bollards or planters as public art, lighting for safety
- Interactive art or exhibits
- Flexible integrated water feature/splash pad
- Retail pavilion/outdoor cafes
- Permeable pavement is encouraged for large hardscape expanses
- Public restroom
- Flexible programming with utilities provided



Relationships

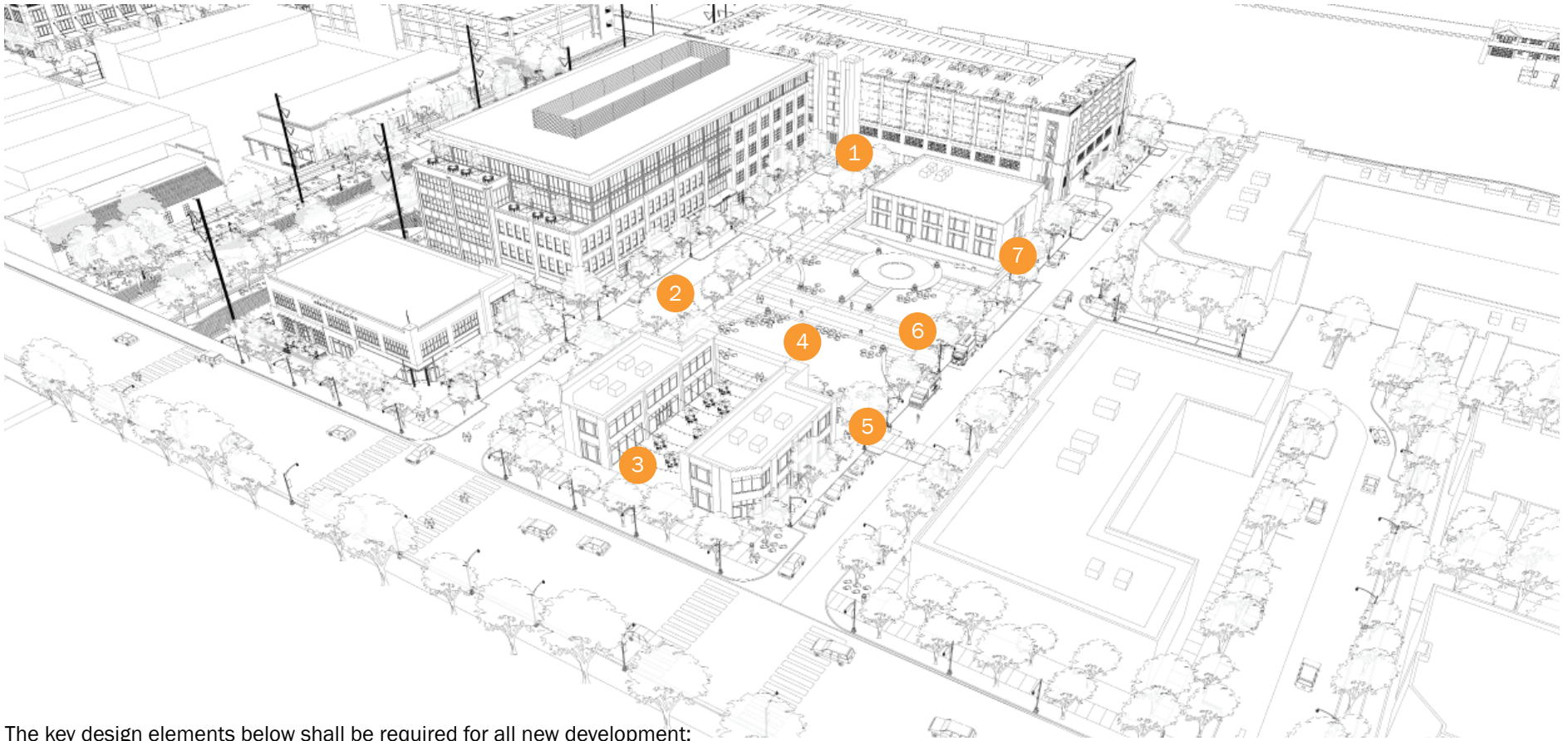
- Open and transparent environment on the first floor of surrounding buildings
- Strong integration and interface between restaurants and cafes with the open space
- Roof top decks encouraged on surrounding buildings
- 3 stories and greater preferred for surrounding buildings, 1 and 2 story buildings as approved by the RDC
- Vertical architectural articulation required on surrounding buildings
- Strong connection to the Paseo



Benefits

- Open Space relief from surrounding massing
- Refuse containers provided throughout
- Night time lighting required
- Consolidated trash or internal to adjacent businesses
- Mechanical equipment shall be fully screened
- Allow for curbside street vendors





The key design elements below shall be required for all new development:

- | | | |
|---|--|--------------------|
| 1 Strong visual connection to the Paseo | 4 Flexible design with predominate large lawn expanse for gatherings | 7 Public Restrooms |
| 2 Allow for curbside street vendors | 5 Creative distinctive lighting | |
| 3 A window into the commons from Gilbert Road | 6 Interactive art or exhibits | |

Legacy

Acting as an urban park, Legacy Park provides residents access to a communal open space and walk-to recreational amenities.

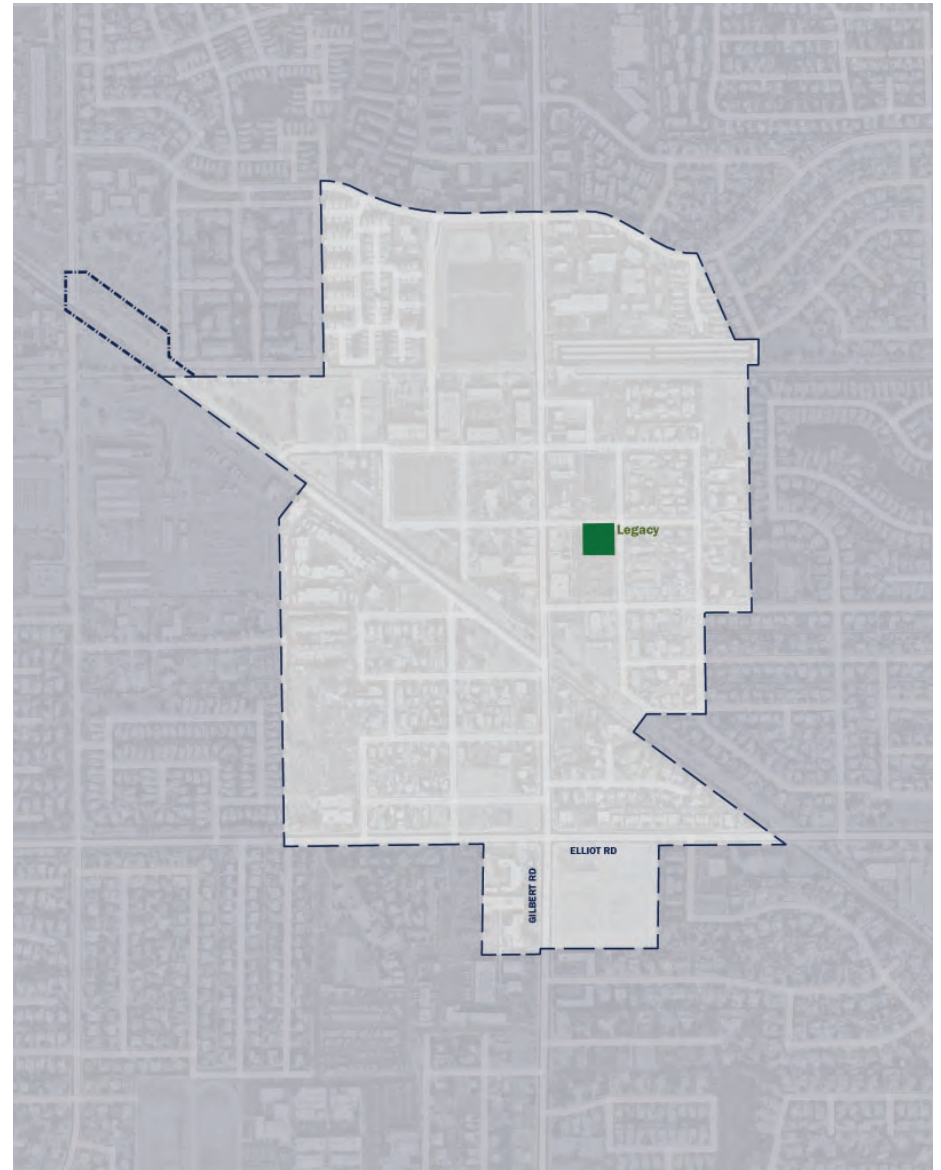
EXPERIENCE

Relaxing

(people sitting on blankets and benches)

Shaded

(lots of trees and shrubs)



INSPIRATION



Legacy

Environment

- Significant trees and streetscape
- Classic park design with a historic central feature
- Minimum 6' sidewalks
- Comfortable seating
- Climate control
- Passive recreation or programmed recreation
- Night time lighting
- Small or linear water feature
- Built in seating as a buffer between the street and the parking
- Perimeter seating

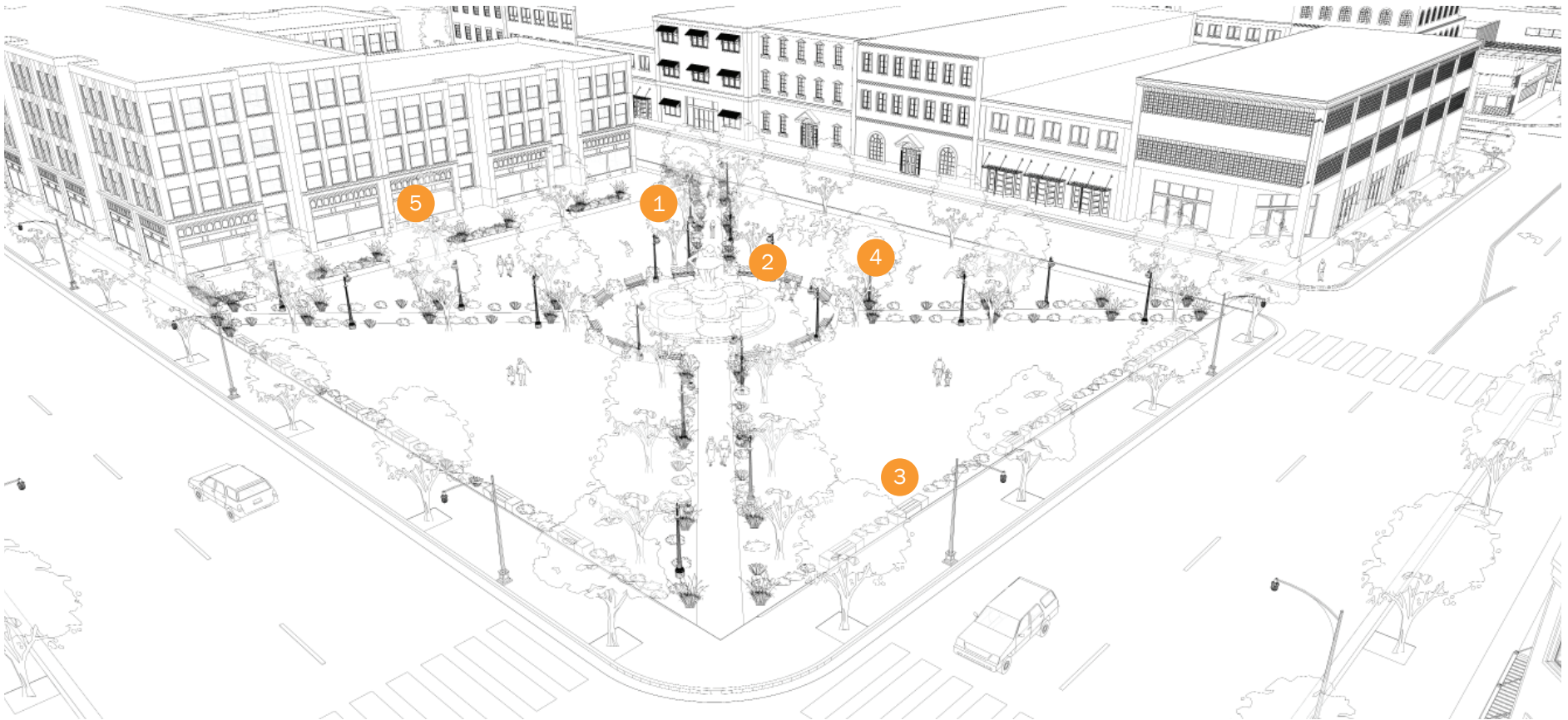
Relationships

- Varying structure heights surrounding the park
- Front yards, courtyards, stoops, and balconies directed toward the park
- On-street parking

Benefits

- Surrounding on-street parking
- Limited traffic
- Trash receptacles provided
- Pedestrian oriented night time lighting required





The key design elements below shall be required for all new development:

- 1** Classic park design with historic central feature
- 3** Built in seating as a buffer between the street and the parking
- 5** interface between the park and surrounding built environment through transparency and outdoor activation
- 2** Pedestrian oriented night time lighting required
- 4** Small or linear water feature

Living Room

The Living Room builds on the strengths and character of the Heritage District to provide access to a variety of cultural, historical, educational and shopping destinations. The space integrates with the heart of the community at Water Tower plaza.

EXPERIENCE

Live Entertainment

(concert and plays)

Vibrant

(people on balconies, roof decks, lots of people on the street)

Appeals to all senses

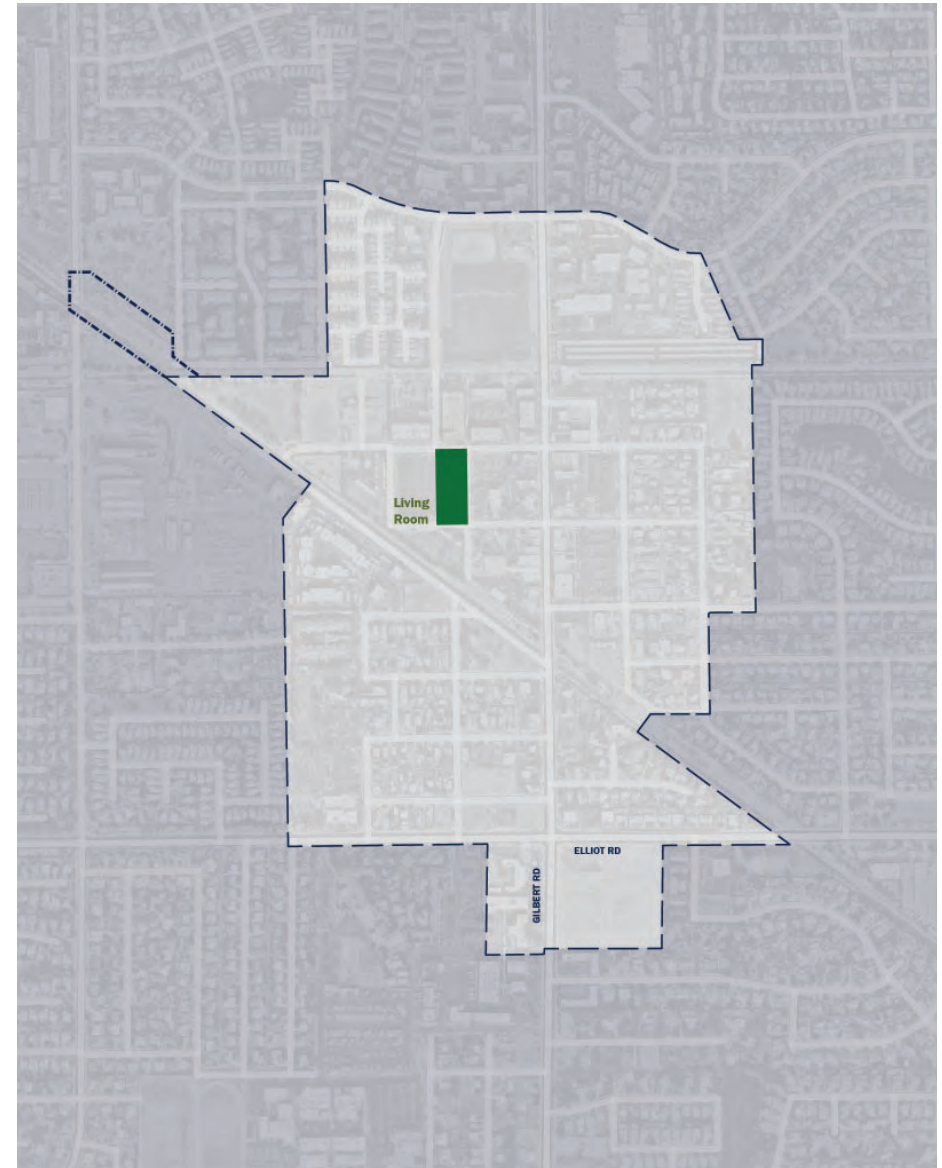
(banners, public art, vendors, street performers)

Outdoor retail sales

(transient vendors)

Evoke sense of celebration

(people dancing)



INSPIRATION



Living Room

Environment

- Flexible programming with utilities provided (optional stage)
- Predominate hardscape for large gatherings
- Ensure both a physical and visual connection from surrounding streets
- Connect to transit system
- Street trees in tree wells surrounding the plaza
- Shade provided large colorful shade sails
- Playful interactive furniture
- Festival lighting
- Retail Kiosks/stands
- Flush curb
- Decorative bollards as public art and lighting
- Heating and cooling devices encouraged
- Include identifying features or art
- Permeable pavement is encouraged for large hardscape expanses
- Strong connection to integrated Paseo
- Streetside zones for transient vendors
- Active use on ground floor of surrounding environment
- Covered space for live music or entertainment

Relationships

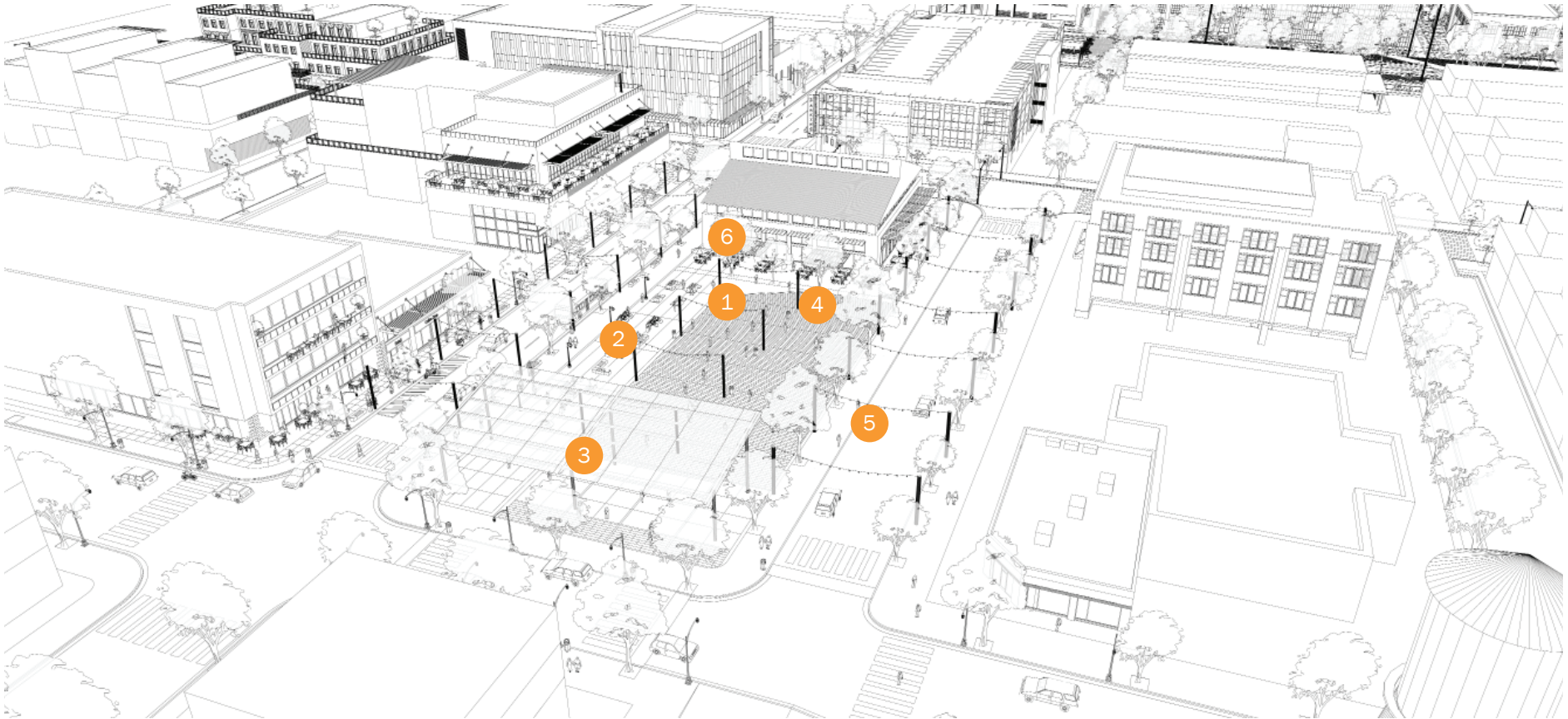
- Open and transparent environment on the first floor of surrounding buildings
- Significant balconies and decks, encouraged on surrounding buildings
- 3 and 4 stories preferred for surrounding buildings
- Vertical architectural articulation required on surrounding buildings



Benefits

- Grouped bike parking
- Curbside ride share
- Refuse containers provided throughout
- Night time lighting required
- Consolidated trash or internal to adjacent businesses
- Mechanical equipment shall be fully screened
- Public restrooms





The key design elements below shall be required for all new development:

- | | | | | | |
|---|--|---|--|---|--|
| 1 | Predominate hardscape for large gatherings | 3 | Covered space for live music or entertainment | 5 | Streetside zones for transient vendors |
| 2 | Playful interactive furniture | 4 | Open and transparent environment on the first floor of surrounding buildings | 6 | Public Restrooms |

Western Canal

The Western Canal is a east west link through the Town. It is visually tied to the power line corridor and irrigation facilities that acts as visual landmarks. Residents utilize the trail system as a convenient safe way to access the Heritage Village activities.

EXPERIENCE

Clear wayfinding

(marked pathways delineated by signage, trees and lights)

Stimulating

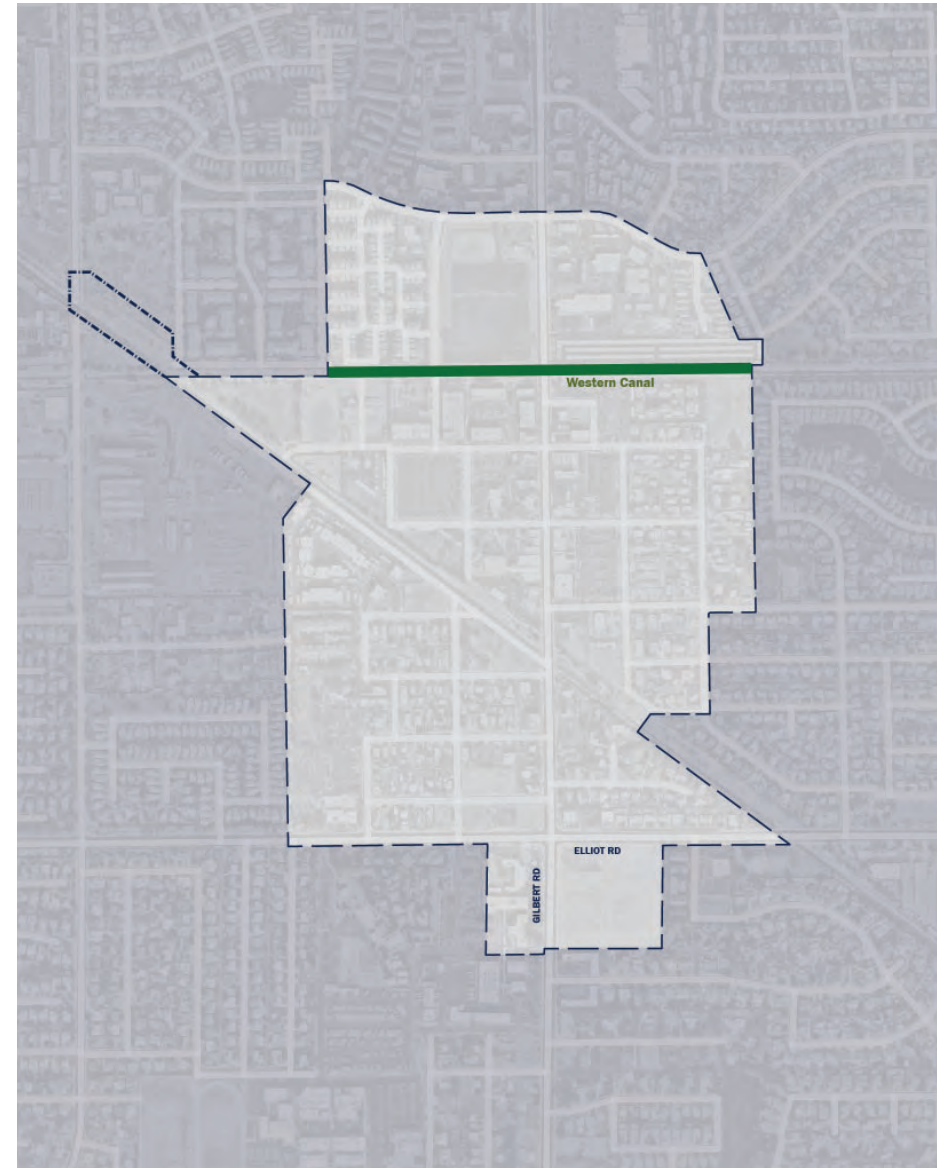
(people taking pictures in front of a mural wall, public art, trees surround by interesting buildings, vendors)

Safe

(well-lit and well populated)

Wide-open

(park-like setting with people jogging, and playing frisbee)



INSPIRATION



Western Canal

Environment

- 10' to 20' multi use path for bicyclist and pedestrians
- Low level trees and shrubs per SRP plant palette
- Lawn areas where appropriate
- Low water, low maintenance plants
- Water stations
- Wayfinding
- Public art
- Shaded rest stops/picnic areas for runners, bikes, etc.
- Banners on poles
- Power pole wraps
- Water oriented environment



Relationships

- Varying surrounding building heights
- Ensure connections to other trails and pathways
- Strong connection to the Commons, the Living Room and to the Paseo
- Outdoor patios and active uses on ground floor only
- Limit exterior balconies and decks above two story due to power lines



Benefits

- Public restrooms
- Periodic bike parking
- Bike repair stations
- Trash receptacles provided
- Nearby curbside ride share/delivery zones
- Nearby parking
- All mechanical equipment shall be architecturally screened





The key design elements below shall be required for all new development:

- 1 Public art
- 2 Shaded rest stops
- 3 Water oriented environment
- 4 Outdoor patios and active uses on ground floor only
- 5 Low level trees and shrubs per SRP plant palette



84 Dwell Overview

86 Lacy Tract

90 Greenhaw Place

94 Mixed

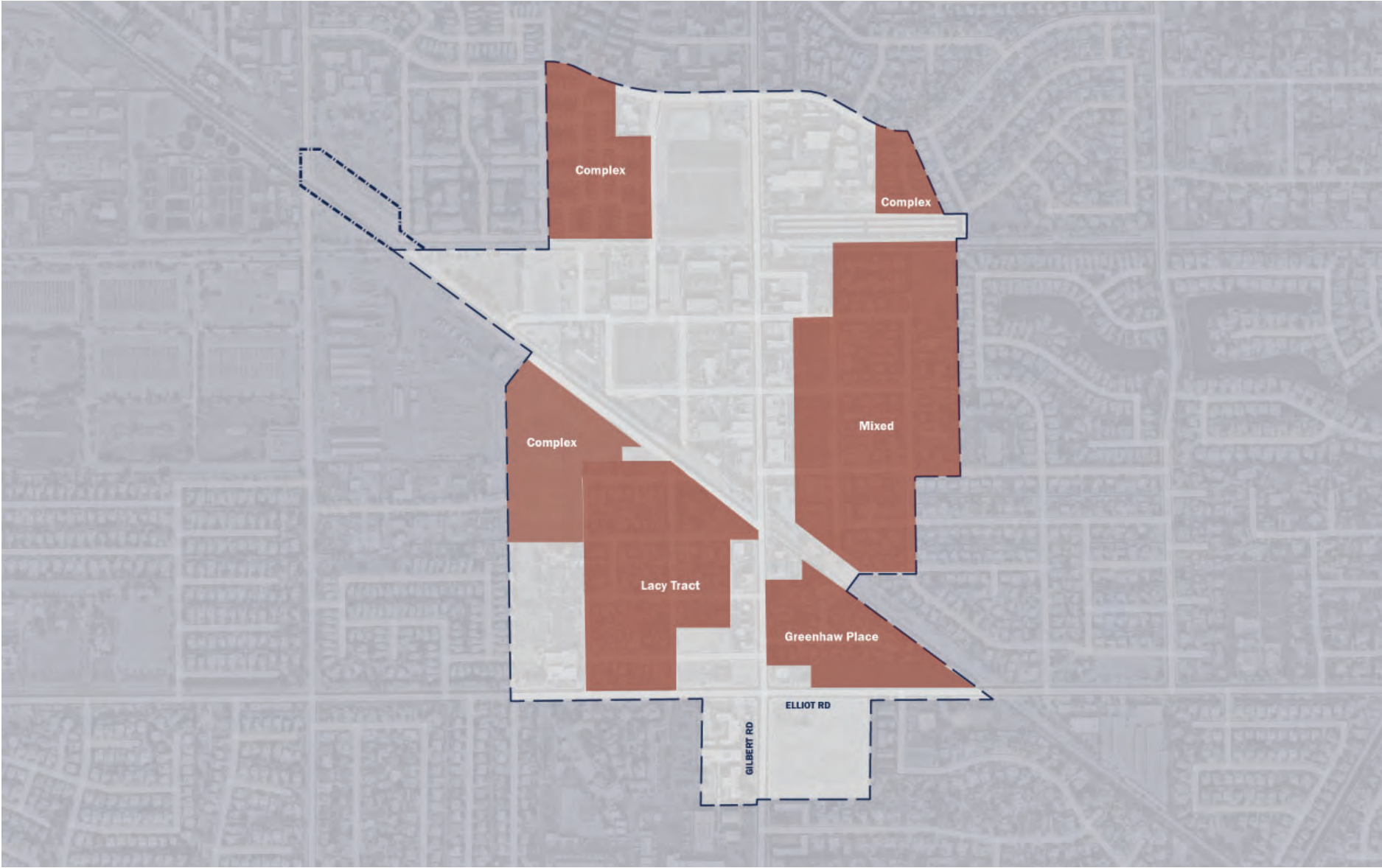
98 Complex

The architecturally unique and diverse neighborhoods in the Heritage District are the fundamental building blocks that define the form and character of downtown.

Dwell Overview

The neighborhoods within the Heritage District are unique enclaves, each with their own vernacular. Some continue to embrace their past character, changing slightly with additions or improvements. While other neighborhood are being reinvented or intensified. Whichever path it may be, each neighborhood community has a story with proud residents to tell it.





Lacy Tract

The Lacy Tract neighborhood is a traditional neighborhood developed in 1917. The bungalow homes house a tight knit community of citizens that have lived in the heart of Gilbert for generations.

EXPERIENCE

Community

(people walking their dogs,
children on bikes, gardening)

Friendly

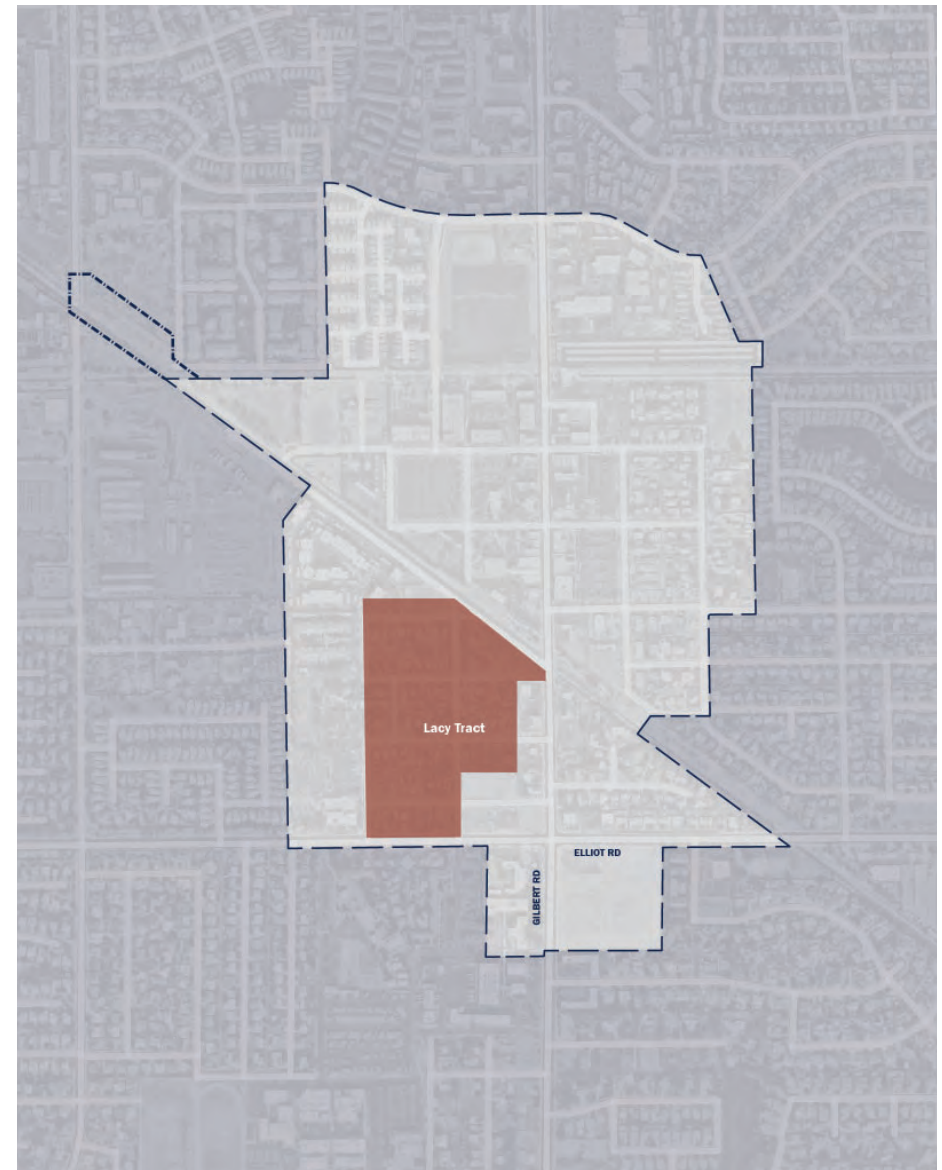
(neighbor interaction)

Quiet

(people sitting on a front porch)

Picturesque

(timeless neighborhood)



INSPIRATION



Lacy Tract

Environment

- Historical architectural vernacular from the early 1900s, primarily Bungalow, Farmhouse, Cottage, Territorial Ranch Mission or Arts and Craft. Contemporary or Modern architecture is not permitted
- Front porches, courtyards or raised stoops are required
- Low fences and walls outside of the right of way (ROW) may be used to help define the yard
- Fences/walls constructed of masonry, vinyl, wood, or wrought iron. Other decorative materials may be approved by the RC
- Gabled or hip roofs, parapet roofs may be approved by the RC
- Street trees within the tree lawn every 20' to 30'
- Architecturally appropriate durable roofing materials such as tile, standing seam metal or shingle
- Primary building materials to be masonry, stucco, wood/wood-like siding or other decorative materials as approved by the RC
- Architectural colors to be consistent with palettes of the early 1900s or period architecture proposed
- Window designs as appropriate to the architectural style. Divided light encouraged
- Single story homes are encouraged
- New residential development should maintain the traditional landscape character and sidewalk design of the existing residential streetscape.
- Break up the perceived mass of a building by dividing the building front into modules or smaller elements that are similar in size to existing buildings
- Use building scale and roof lines that are similar to those seen in the neighborhood
- A new secondary structure should respect the mass and scale of the primary structure
- A new accessory structure or accessory dwelling unit should respect the massing, scale and materials of the primary structure

Relationships

- The house should address the street
- Front loaded garages must be recessed from the front building elevation
- The front door should be clearly visible from the street
- Alley access should be for accessory structures, carports or garages
- Rear alley loaded garages or carports must have a 3' apron
- Lots shall not be combined
- Individual mailboxes
- New residential development or redevelopment projects should maintain and enhance the Heritage District's system of alleys.
- Undergrounding of utilities
- Mechanical equipment shall be screened and ground mounted for new construction
- Curbside refuse pick-up



The key design elements below shall be required for all new development:

- 1 Historical architectural vernacular from the early 1900s, primarily Bungalow, Farmhouse, Cottage, Territorial Ranch Mission or Arts and Craft. Contemporary or Modern architecture is not permitted
- 2 The front door should be clearly visible from the street
- 3 A new accessory structure or accessory dwelling unit should respect the massing, scale and materials of the primary structure
- 4 Front porches, courtyards or raised stoops are required

Greenhaw Place

Greenhaw Place is a true mid-century modern ranch style neighborhood. The small insulated subdivision, east of Gilbert Road, was platted in 1949. The neighborhood boasts spacious lots, green front lawns, mature trees, attached garages or carports.

EXPERIENCE

Active

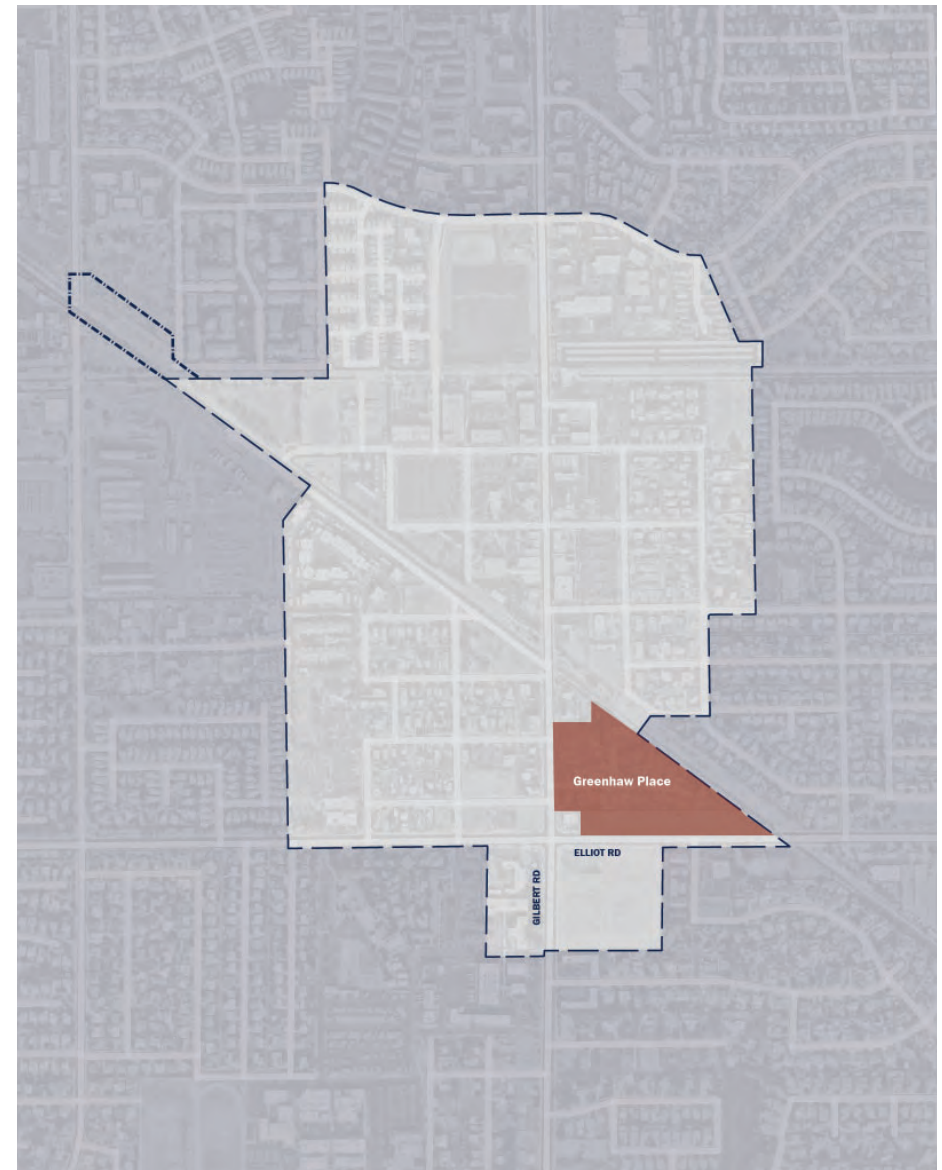
(Kids playing basketball in a driveway and riding bikes)

Comfortable

(people doing yardwork)

Engaged

(people walking and talking to people in the yard)



INSPIRATION



Greenhaw Place

Environment

- Historical mid-century modern or ranch style architecture. Contemporary architecture is not permitted.
- Front porches and covered entries are highly encouraged
- Low fences and walls outside of the ROW
- Fences/walls constructed of masonry, vinyl, wood, or wrought iron. Other other decorative materials as approved by the RDC
- Gabled or hip roofs. Parapet roofs may be approved by the RDC
- Architecturally appropriate durable roofing materials such as tile, standing seam metal or shingle
- Primary building materials to be masonry, or wood/wood-like siding or other decorative materials as approved by the RDC
- Architectural colors to be consistent with palettes of the mid 1900s
- Window designs as appropriate to the architectural style, divide light encouraged
- One and two story homes are encouraged
- A new secondary structure should respect the mass and scale of the primary structure
- A secondary structure should relate to the general architectural character of the primary building in mass, scale, form and material

Relationships

- The house should address the street
- The front door should be clearly visible from the street
- Garages and car ports should architecturally integrated flush with the front elevation or recessed
- Lots shall not be combined

Benefits

- Individual mailboxes
- Undergrounding of utilities
- Historic street lights
- Mechanical equipment shall be screened and ground mounted for new construction
- Curbside refuse pick-up



The key design elements below shall be required for all new development:

- 1 A new secondary structure should respect the mass and scale of the primary structure
- 2 Lot shall not be combined
- 3 Historical architectural vernacular turn of the century to mid century, primarily Farmhouse and Ranch. Contemporary or modern architecture is not permitted

Mixed

Mixed is a predominantly a neighborhood of stylized apartment buildings, condominiums and townhomes that are integrated with non-residential uses. The mix of uses create a synergistic vibrant environment steps from historic Gilbert Road. The comfort streetscape leads to front doors, stoops, and covered entries that are overlooked by balconies and decks.

EXPERIENCE

Walkable

(people strolling with dogs on leashes)

Shady and Green

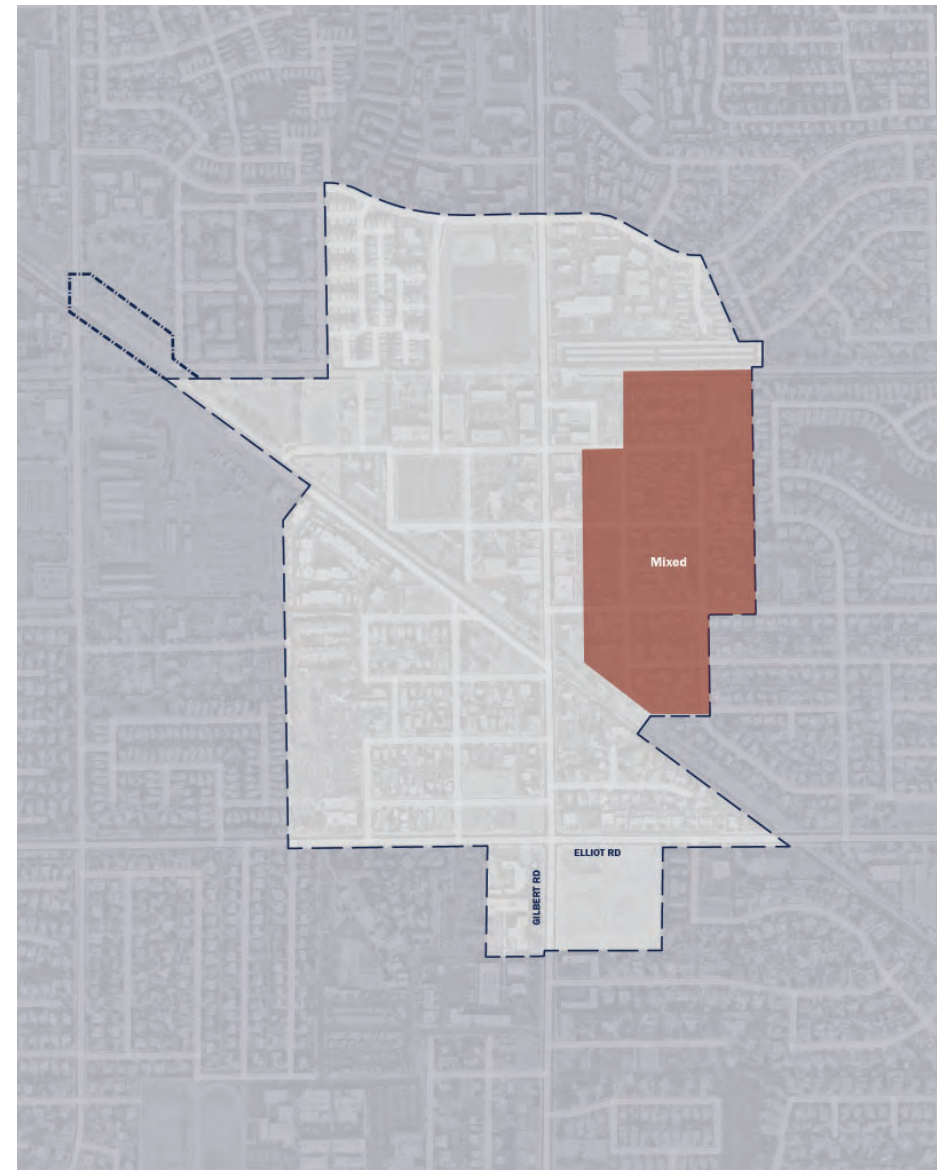
(lots of trees and shrubs)

Quiet

(people sitting on benches)

Charming

(subtle architectural character with balcony seating or people sitting on stoops)



INSPIRATION



Mixed

Environment

- Mixed use environment with combination of single family, multifamily and non-residential
- Street trees in grates
- Individual front doors facing the street with courtyards or stoops
- Primarily brick with metal and glass accents. Other materials may be approved by RC
- Historic street lighting
- Landscape planters
- Shady and green
- Potted plants and hanging baskets

Relationships

- Balconies and terraces facing the street
- Pedestrian scale
- 2 to 3 story encouraged
- 4 story allowed for mixed use
- Stepback required at the 3rd floor when adjacent to the Heritage District Boundary
- When the first floor is a non-residential use, 75% transparency required when residential 50% transparency required
- A new secondary or accessory structure should respect the mass, scale and materials of the primary structure
- A secondary structure should relate to the general architectural character of the primary building in mass, scale, form and material

Benefits

- Group Bike parking
- Access to alleys
- All mechanical equipment shall be roof mounted and architecturally screened
- Required garages and parking off of alleys
- Street parking for required visitor spaces allowed
- Minimum 6' sidewalks





The key design elements below shall be required for all new development:

- | | | |
|--|---|--|
| 1 Required garages and parking off of alleys | 3 Balconies and terraces facing the street | 5 Historic street lighting |
| 2 Street trees in front of building | 4 When the first floor is a non-residential use, 75% transparency required when residential 50% transparency required | 6 Stepback required at the 3rd floor when adjacent to the Heritage District boundary |

Complex

Complex neighborhoods located within the Heritage District were constructed as uniform neighborhoods. The mature environment provides comfortable living within walking distance to the historic heart of Gilbert.

EXPERIENCE

Distinctive

(consistent architecture and landscape)

Safe

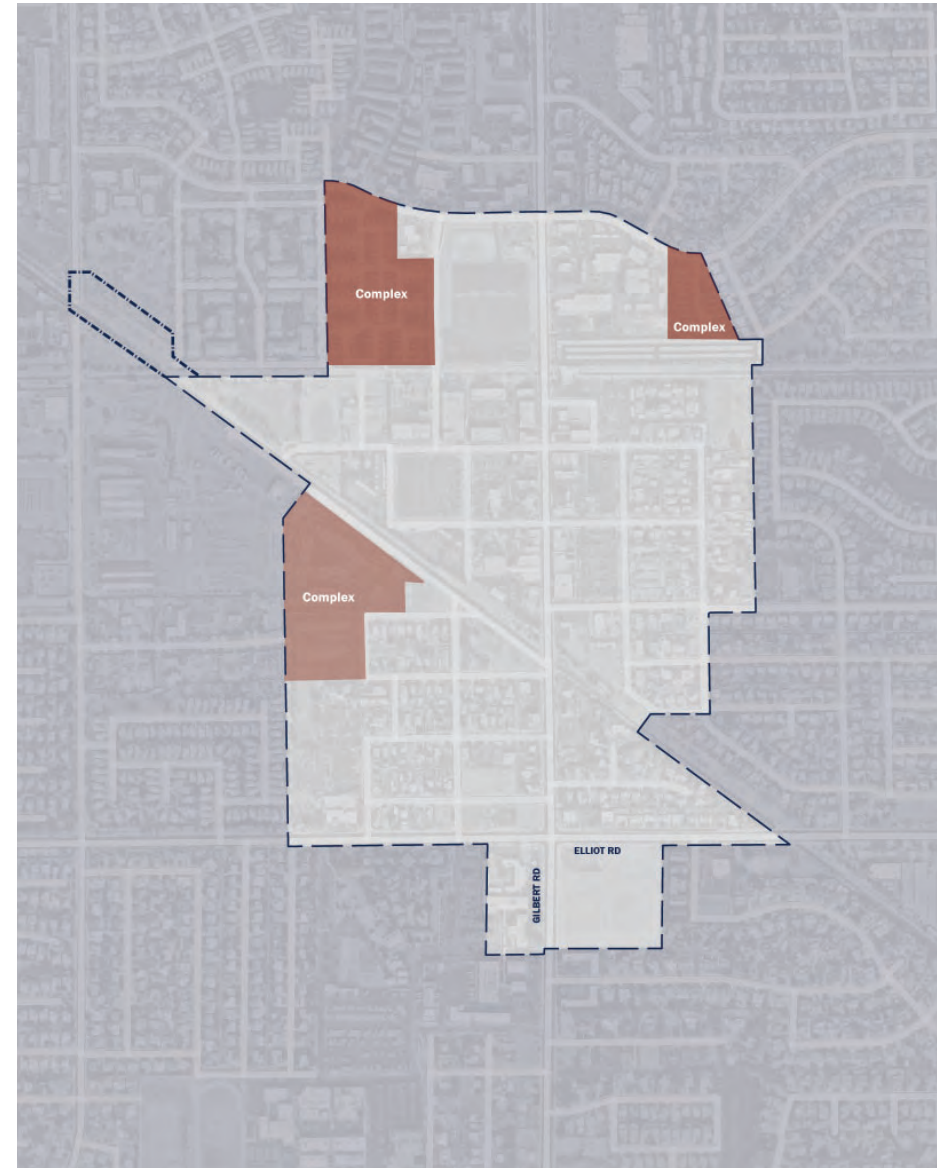
(well-lit and uniformly groomed)

Relaxed

(people jogging and walking)

Inviting

(Open environment, not gated)



INSPIRATION



Complex

Environment

- Existing neighborhoods shall maintain their existing approved aesthetic
- Changes to the approved aesthetic shall be approved by the RDC
- Improvements to the grounds shall be consistent with previous Town approvals

Relationships

- Changes to the existing approved plans shall address the relationship addressed in the 2018 Redevelopment Plan
- Improvements to the existing streetscape is encouraged
- Changes to the existing environment to better interface with the streetscape, trails or village amenities is highly encouraged

Benefits

- Group bike parking
- Communal trash collection is encouraged
- Retrofitting to compactor refuse collection is encouraged





The key design elements below shall be required for all new development:

- 1 Existing neighborhood shall maintain their approved aesthetic
- 2 Changes to the approved aesthetic shall be approved by the redevelopment Commission



104 Art

104 Arcades And Windows

105 Heritage District Colors And Materials

106 Heritage District Landscape Character

110 Street Furniture

111 Terms

Art

Non-Residential

- Public art may be murals, sculpture, banners, flag panels, bollards, lighting, paintings, etched concrete is highly encouraged for new commercial development
- Art should encourage interaction and communication
- Public art must meet the decency requirements of the Municipal Code
- Public art may not be signage for a business or use
- Public art may not represent a use internal to the building or on property
- Public art may be temporary or rotated
- Lighting should be included
- Select art which communicates a relationship to our sense of place, relates to the passage of time, creates a sense of joy and delight and stimulates play and creativity.

Arcades and Windows

Non-Residential

- First floor non-residential windows should include creative three dimensional displays
- Storefront windows, even for restaurant venues
- Windows should reflect the style and character of the architecture.
- Maintaining the line of storefronts at sidewalk edge and orienting main entrances to open toward the street.
- The first floor street walls should contain architectural elements that create visual interest and a pedestrian street environment such as display windows facing the sidewalk, outdoor dining areas and public art integrated with the building design.
- Articulate facades to provide a visual effect that is consistent with the character and scale of the Heritage District.
- Encourage corner buildings to locate angled entrances at the corner.
- Recessed entries should be retained and encouraged in new storefront construction.
- Entries incorporating window display areas and kick plates with an accent material recessed from the sidewalk would be preferred.
- Window patterns along the streets should include repetition of evenly-spaced, similarly-sized, upper-story windows. The alignment and similar scale of windows reflect a common historic pattern that should be continued.
- Upper floor windows should be divided into individual units and not consist of a “ribbon” of glass.
- Deeply recessed or inset windows are preferred for their ability to shade interiors and reflect historic character.
- Tinted or reflective glass in brushed aluminum frames should be avoided

Heritage – Colors and Materials

Non-Residential & Multifamily

- Exterior elevation materials should appear similar to those used historically in the late 1800s and early 1900s
- Primary Exterior materials include:
 - Smooth Stucco
 - Brick
 - Wood
- Accent materials include:
 - Terra cotta
 - Steel
 - Stone
 - Tile
 - Glass
 - Brick
 - Wood
- Building colors should respect the architectural style of the building.
- Matte finishes are highly preferred
- Where paint is utilized the color should be appropriate to the architecture
- One or two accent colors may be introduced to highlight details and trim.
- Fabric or metal awnings/ canopies should not be the dominant architectural feature of a building except for first floor elevations
- Preservation of existing mature trees is highly encouraged
- Awnings should have colors and patterns that complement building materials, colors and architectural character
- Corporate branding of buildings other than with signage is not permitted

Heritage District Commercial & Mixed Use Landscape Character

Streetscape Tree Palette

Common Name	Botanical Name
Canopy	
Pistache cultivars	Pistacia
Evergreen Elm cultivars	Ulmus
Colorful Accent	
Chitalpa	Chitalpa tashkentensis
Thorneless Cascalote	caesalpinia cacalaco
Vertical Accent	
Palo Blanco	Acacia willardiana

Trees

Common Name	Botanical Name
Ash	Fraxinus species
Casalote	Caesalpinia species
Chaste Tree	Vitex agnus=castus
Chinese Pistache	Pistacia chinensis
Chitalpa	Chitalpa tashkentensis
Evergreen Elm	Ulmus parvifolia
Mexican Bird of Paradise	Caesalpinia pulcherrima
Oleander sp.	Oleander
Orchid Tree	Bauhinia species
Palo Verde sp.	Cercidium
Texas Mountain Laurel	Sophora secundiflora
Tipu	Tipuana tipu

Shrubs

Common Name	Botanical Name
Cape Honeysuckle	Tecomaria capensis
Cape Plumbago	Plumbago auriculata
Cassia sp.	Caesalpinioideae
Coral Fountain	Russelia equisetiformis
Dwarf Myrtle	Myrtus communis 'Compacta'
Eremophila sp.	Eremophila
Gardenia	Gardenia Jasminoides
Little John Bottlebrush	Callistemon viminalis 'Little John'

Shrubs

Common Name	Botanical Name
Mexican Honeysuckle	Justicia spicigera
Red Bird	Caesalpinia pulcherrima
Ruellia	Ruellia
Sage	Leucophyllus species
Salvia sp.	Salvia
Tacoma sp.	Tacoma stans
Valentine Bush	Eremophila maculate 'Valentine'
Yellow Bird	Caesalpinia gilliesii

Heritage District Commercial & Mixed Use Landscape Character

Groundcovers

Common Name	Botanical Name
Bush Morning Glory	Convolvulus cneorum
Dwarf Rosemary	Rosmarinus officinalis 'Prostratus'
Elephant Food	Portulacaria
Eremophila sp.	Eremophia
Ice Plant	Delosperma
Katie Ruellia	Ruellia brittoniana 'Katie'
Lantana	Lantana
Purple Heart	Peltogyne
Potato Vine	Solanum jasminoides
Yellow Dot	Wedelia trilobata

Accents

Common Name	Botanical Name
Agave sp.	Agave
Aloe sp.	Aloe species
Bear Grass	Nolina sp.
Bougainvillea sp.	Bougainvillea
Deer Grass	Muhlenbergia sp.
Euphorbia	Euphorbia sp.
Fortnight Lily	Dietes
Gaura sp.	Gaura lindheimeri 'Pink/White'
Hesperaloe	Hesperaloe sp.
Mexican Feather Grass	Nassella tenuissima
Slipper Plant	Pedilanthus macrocarpus

Vines

Common Name	Botanical Name
Hacienda Creeper	Parthenocissus sp.
Lilac	Hardenbergia violacea
Queen’s Wreath	Antigonon leptopus
Snail	Vigna Caracalla
Trumpet vine	Campsis radicans/Odranea ricasoleana

Street Furniture

Non-Residential & Multifamily

Historic Light Poles: Sternberg's 5222 Barrington Decorative Pole with 1913CA Libertyville Tear Drop Lens

Stop Sign and Sign Poles: Sternberg POLE: 4212FP4, CATAL4212-FP4-.188-SCC-1/2ABC&SKIRT/PG

Bench: Park Vue 26" x 36" x 72" Backed with Arms

Bowery Planter Jacket (name and manufacture)

Trash Receptacle: Park Vue

Metro style Drinking Fountain

Pennsylvania Ave Bollard

Tree grates Neenah Metropolitan Collections

Terms

If there is a conflict between a graphic, definition and/or text the Zoning Administrator shall determine which governs.

360 Degree Architecture. See Four Sided Architecture.

Abutting or Adjoining. A property that is immediately next to another property or shares a common boundary with another property. It includes a zoning district that is next to another zoning district.

Accessory Structure. An accessory structure is a detached subordinate/incidental structure on the same lot as the primary building, structure or use. Common accessory structures are detached garages, parking canopies, storage sheds and cabanas. Accessory Structures are NOT Accessory Dwelling Units and may not include any rooms used for overnight accommodations. This definition excludes dwellings, signs, walls, fences and swimming pools.

Acreage.

Gross. The area of a lot, tract, or project in acres, including one-half the right-of-way of all adjoining public streets and other land to be dedicated to the public.

Net. The area of a lot or project in acres, excluding land to be dedicated or having been dedicated to the public or reserved for public streets, schools, parks and other public facilities.

Active Recreation/Open Space. Leisure and sports activities usually performed with others, often requiring equipment, a specialized facility or field. Some uses that are considered active are playgrounds, swimming, court games, golf and field sports.

Amenities. Characteristics or individual elements of a development that increase its desirability to a community or its marketability to the public. Amenities may differ from development to development but may include such things as recreational facilities (e.g., a swimming pool or tennis courts), security systems, views, or landscaping.

Architectural Accent / Detail / Feature / Element. Prominent or significant parts or elements of a building or structure including but not limited to; cornices, belt courses, lintels, sills, pediments, columns or pilasters, rustications, or base courses.

Architectural Massing. The three dimensional form of a building.

Art. An element, feature or visual work of art displayed for the purpose of expressing, enhancing, or illustrating aesthetic a feeling, idea or happening as a form of speech.

Awning. A roof-like cover entirely supported by and extending from a building for the purpose of protecting openings from the elements, providing shade or architectural embellishment.

Terms

ADWR. Arizona Department of Water Resources.

Balcony. A platform that projects from the wall of a building, typically above the first level, and is surrounded by a rail, balustrade, or parapet.

Basement. That portion of a building that is partly or completely below grade plane. A basement shall be considered a story above grade where the finished surface of the floor above the basement is:

1. More than 6 feet above grade plane;
2. More than 6 feet above the finished ground level for more than 50 percent of the total building perimeter; or
3. More than 12 feet above the finished ground level at any point.

Building. Any structure for the shelter or support of any use or occupancy.

Attached. A structure which has at least part of a wall in common with another building or is connected by a solid or semi solid roof structure. This excludes walls and fences.

Detached. A structure that is not attached or otherwise permanently fastened to any other structure. This excludes walls and fences

Building Articulation. Changes in the façade of a building not limited to, columns, pilasters, recessed windows, bay windows, horizontal banding, decorative cornices that provide visual movement and texture. See Architectural Accent.

Building Envelope. The volume of space for development as defined by the minimum building setbacks and the maximum allowable building height.

Building Footprint. The exterior outline of a structure where it meets the earth.

Building Height. The vertical distance from the finish floor level or finished grade whichever is greater to the highest level of the roof surface of flat or mansard roofs (not including the parapet), or to the mid-point of the highest sloped roof.

Building Separation. Separation between structures is measured from the face of the vertical support surface to face of the vertical support surface.

Building Setback. The minimum distance by which any building or structure is required to be separated from a lot line.

Front. A line parallel to the front lot line depicting the minimum horizontal distance from the front lot line to the face of a primary building.

Rear. A line parallel to the rear lot line depicting the minimum horizontal distance from the rear lot line to the face of a primary building.

Setback, Side. A line parallel to the side lot line depicting the minimum horizontal distance from the side lot line to the face of a primary building.

Terms

Building Stepback. A setback requirement for portions of a building above the second floor as measured from the building setback.

Building Wall. The exterior support of a finished structure.

Build-To Line. The maximum distance a building may be set back from a property line.

Building, Main or Principal. A building where the principal use of a lot is conducted.

Canopy. A roof-like cover partially supported by poles or columns affixed to the ground and partially supported by a building.

Carport. A roofed structure not fully enclosed by walls for the purpose of providing shelter for one or more vehicles.

Climate Control. Providing artificial control of air flow, temperature and humidity. Examples of climate control are, but not limited to shade structures, misting systems, umbrellas, fans, air conditioners and other shade structures.

Courtyard. An uncovered area partly or wholly enclosed by buildings or walls and used primarily for supplying, access, light and air.

Density. The number of dwelling units per gross acre.

Dining, Outdoor. An exterior area used as seating for a contiguous eating and drinking establishment.

Divided Light Window. A window with multiple panes of glass or a window that is divided by muntins.

Dormer. A window located in the plane of a roof.

Driveway. A private vehicular access to a parking space, carport or garage.

Duplex. A building on 1 lot used and designed as a residence for 2 families living independently of each other with individual cooking and sanitary facilities in each dwelling unit.

Dwelling Unit.

Attached. A building containing two or more primary dwelling units, connected along and sharing one or more common walls, or stacked above each other.

Detached. A building containing a primary single dwelling unit, not connected to any other structure.

Easement. A grant by a property owner to others for the use of land or airspace for a specific purpose(s).

Elevation. A two-dimensional scaled drawing of a building or structure.

Terms

Façade. The face of a building, especially the front.

Fence. A barrier, railing, or other upright structure, including gates, typically constructed of wood or metal, enclosing an area to mark a boundary, control access, or prevent escape.

Double. Two fences or a fence and a wall that are parallel or nearly parallel and do not allow space for proper maintenance and visual security.

Internal. A fence located inside of a lot or development, not on the perimeter.

Open. A fence through which visibility is possible for 75 percent or more of the structure as viewed on a horizontal plane, from any point perpendicular to the fence line.

Perimeter. A fence located on an exterior property line.

View. A fence through which visibility is possible for 50 percent or more of the structure as viewed on a horizontal plane, from any point perpendicular to the fence line.

Festival Lighting. Decorative low level lights that are often hung in trees, over walkways and around patios/courtyards that provide for ambiance.

Flex Curb. The curbside management of city streets using varying operating concepts, techniques, and practices that allow a municipality to allocate the use of their curbs in high demand areas during specific days and/or times by specific users.

Flex Lane. A lane adjacent to a curb or sidewalk that is managed by the local jurisdiction or designated entity to allow for buses, passenger drop-off/pick-up, short term parking, deliveries and other temporary needs of the surrounding environment.

Flexible Programing. Open space that may be used for multiple activities/purposes and over seen by the Town's Parks and Recreation Division.

Floor Area Ratio (FAR). The gross floor area of a building or buildings on a lot divided by the net lot or parcel area.

Flush Curb. A flat change in surface delineating a transition from a pedestrian zone to a vehicular zone.

Food Trucks. See Gilbert Municipal Code/Transient Merchant.

Four Sided Architecture. Significant interesting architecture on all four sides of a building.

Garage.

Attached. An enclosed structure for the parking of vehicles that is physically connected to the primary structure.

Detached. An enclosed structure for the parking of vehicles that is not attached to the primary structure.

Side-Entry. An enclosed structure for the parking of vehicles oriented such that the entrance is a minimum angle of at least 45 degrees from the front setback line.

Terms

Garage Apron. A 3 foot asphalt or concrete ribbon strip located between the front of a garage door and the main driveway or alley that allows for a safe transition between the structure and the accessway.

Gate. A movable frame or solid structure which swings, slides, or rolls controlling ingress and egress through an opening in a fence, wall, or vegetation.

Gross Floor Area. The total area in square feet of all floors designed for tenant occupancy and common use, including basements, mezzanines, stairwells, and storage areas, measured from the centerline of interior partitions and from outside wall faces. Non air conditioned courtyards shall not be considered in gross floor area calculations.

Habitable Space. A space in a building for living, sleeping eating or cooking. Bathrooms, toilet rooms, closets, halls, storage or utility spaces and similar areas are not considered habitable

Hardscape. A man made feature used in landscape such as, but not limited to, sidewalks, courtyards, water features, walls and driveways.

Height. See Building Height or Story

Historic Architecture. A style of building or structure that is linked to a period of time in the past. In the Heritage District the signification time period has been determined to be between the late 1800s and the mid 1900s.

Horizontal Articulation. Changes in the depth of the surface of a building face or façade such as, but not limited to, columns, recessed windows or bay windows, banding or decorative cornices and movement of the wall plane forwards and backwards or greater than 1 foot.

Integration. The coordinated harmonious design and blending of various built components within an environment through relationships, texture, colors, materials and style.

Interface. The zone where two areas meet, transition and interact.

Landscape Buffer. A designated area of vegetation that acts as a distancing or transition between two uses or properties.

Land splits. In accordance with A.R.S. 9-463, means the division of improved or unimproved land whose area is two and one-half acres or less into two or three tracts or parcels of land for the purpose of sale or lease.

Lighting Related Terms. See Gilbert Municipal Code,

Local Street. Town of Gilbert Engineering and Construction Standards.

Loft Unit. A residential unit above a non-residential use or uses, that are independent of the residential units, and open to the public.

Terms

Lot. A unit of land shown on a recorded subdivision plat, record of survey map, parcel map, or recorded as a metes and bounds description.

Lot Area. The area bounded by the lot lines, exclusive of public streets.

Lot Coverage. The numerical value obtained through dividing the sum of all covered or semi covered ground floor square footage, as measured from each exterior wall, by the net lot area.

Lot Depth. The measurement from the center of the front lot line to the center of the rear lot line.

Lot Line. Any property line bounding a parcel of land.

Lot Width. The distance between side property lines measured at the front setback line.

Micro Mobility. Transportation using lightweight vehicles such as bicycles or scooters, especially electric ones that may be borrowed as part of a self-service rental program in which people rent vehicles for short-term use.

Mixed-Use Development. A coordinated Development Plan with a functional integration of residential and non-residential uses, where a variety of different living activities (live, work, shop, and play) are in close proximity (walking distance) to most residents, resulting in measurable reductions in traffic impacts.

Multifamily. A building, group of buildings, or portion of a building that contains two or more dwelling units on one lot, designed as a residence for two or more families living independently of each other with individual cooking and sanitary facilities in each dwelling unit. Multifamily dwellings may include apartment buildings, townhomes and residential condominiums.

Multi Use Path. A shared use trail that includes space for pedestrians and multimodal activity.

Mural. A work of art that is painted, drawn, projected or otherwise applied on the exterior surface of a building, structure, wall or surface with the express permission of the property owner; and is non-commercial in that it does not promote a particular business, service or product.

Node. A centralized hub used in placemaking.

Nonresidential Use. All uses other than single family and multifamily residential uses.

Off-Site Parking. Parking provided on a site other than the one on which the primary use is located.

Open Air Accessory Structure. A freestanding permanent structure that has a solid roof, lattice roof or fabric roof surface supported by poles, posts, columns, walls or other vertical structural members that are permanently anchored into the ground. The structure may have up to one solid wall on any of the sides with the remaining sides open.

Heritage District Design Guidelines **DRAFT 2020**

Open Air Attached Patio. Means a patio attached to the house or to an accessory structure accessory dwelling unit that is open on at least one side. The patio may have a solid roof, lattice roof or fabric roof surface supported by poles, posts, columns or other vertical structural members.

Open Air Porch. Means a porch attached to a dwelling unit or to an accessory structure or accessory dwelling unit that is open on at least two sides.

Open Space. Landscaped areas for the purpose of meeting open space requirement.

Common. Any outdoor area of land or water permanently dedicated or designated for use for active or passive recreation areas, landscape buffers, flood control, storm water retention, or resource management.

Private. The outdoor living area directly adjoining a dwelling unit or building, intended for the private enjoyment of the residents or occupants of the dwelling unit or building and defined in such a manner that its boundaries are evident.

Operable walls. A wall system comprised of individual panels that can moved independently to open to allow the outdoors in or fitted together to form a continuous flat surface that encloses a space from the outside.

Organized Activities. A planned event that may include, but is not limited to games, concerts, classes and community functions.

Outdoor Service Area. A delivery area, service entry, or loading dock used for the conveyance of goods and services .

Outdoor Storage, Commercial. Storage of material, goods, vehicles, or equipment outside of a building not for immediate use, sale or display.

Parapet. That portion of an exterior wall that extends above the roof line.

Parcel. See Lot

Park

Private. An area owned by a homeowner's association, property owner's association, individual or business that is used as a playground, or contains playground equipment, or areas with trees/turf or ramadas or contains the following facilities or amenities: paths, trails, picnic tables, sports fields, basketball courts, BBQ grills, splash pads, tennis courts, pickleball, volleyball courts, or swimming pools. This definition excludes: non-turf retention/detention basins primarily used to contain stormwater or property used as an employee break or amenity area.

Public Park. See Gilbert Municipal Code

Park and Ride Lot. An improved lot for the temporary parking of vehicles on a daily basis for persons traveling together to and from a place of employment through carpools or public transit.

Terms

Parking Facilities. Improved outdoor lot offering parking to the public as a primary land use and not accessory to another land use. This use may be shaded by parking canopies.

Parking.

Enclosed. A garage with walls and a door.

Lot. An open paved parking area that is available for public use.

Off-Site. Paved and improved parking that is required and not located within the boundary of the project it serves.

Overflow. Parking permitted as part of an approved master site plan on an undeveloped lot for a maximum of 24 hours on a dust controlled surface.

Pull-Through Parking Space. A parking space than can be accessed from both ends.

Required. The minimum number of parking spaces required to accommodate the land uses as determined by the ratio provided in the parking table.

Space. An off-street area available for the temporary parking of motor vehicles in designated stalls.

Tandem. Two parking spaces arranged end-to-end. Tandem spaces may open or enclosed

Temporary Parking. Parking that is dust controlled and designated for a specific use or event for 72 hours or less and does not occur more often than 4 times per year.

Parking Structure. An enclosed or semi enclosed garage structure offering public or private parking operating as a primary land use.

Passive Recreation/Open Space. Leisure and sports activities that require little to no specialized improvements, equipment or facilities. Examples of some passive recreation activities are hiking, biking, picnicking, fishing and birdwatching.

Patio. A hardscaped surface attached to the house or an accessory structure that is open on at least one side. The patio may have a solid roof, lattice roof or fabric roof surface supported by poles, posts, columns or other vertical structural members.

Pedestrian Scale Lighting. Lighting less than 14' in height.

Pedestrian, Sidewalk and Landscape Tract. A parcel of land designated on the final plat for the exclusive use by the public for pedestrian amenities and activities, including sidewalks and landscaping.

Permanent Dwelling. Any building, structure, or portion thereof which is occupied and in accordance with a building permit.

Permanent Structure. Any structure permanently affixed to the ground. Permanent structures exclude fences, walls, swimming pools, tents, trailers and sport fencing/backstops.

Permeable Pavement. Porous hardscape that allows for drainage infiltration.

Heritage District Design Guidelines **DRAFT 2020**

Plat. plat approved and recorded for the purpose of eliminating errors of minor survey, drafting or typographical nature on a recorded plat.

Final. As defined in A.R.S. 9-463.

Preliminary. As defined in A.R.S. 9-463.

Recorded. As defined in A.R.S. 9-463.

Pocket Courtyard. A small accessible park or pedestrian court open to the public.

Pool House. An accessory structure used in association with a private residence's swimming pool. Pool houses shall not be rented or used for overnight accommodations. See Homeowner Facilities for community pool houses.

Porch. An attached, covered platform open on at least 2 sides located at the front of a dwelling unit.

Primary Dwelling Unit. A single residence, whether attached or detached providing complete, independent living facilities for a single housekeeping unit, including permanent provisions for living, sleeping, eating, cooking, and sanitation. A primary dwelling unit may have more than 1 kitchen as long as the kitchens are open to the entire residence.

Primary Building. A building where the primary use on a lot is conducted.

Primary Use. The primary or predominant use or activity occurring on a property.

Private Open Space. A clearly defined, improved, outdoor area solely for the exclusive use and enjoyment of a resident or tenant. Examples of private open space are patios, balconies and outdoor break areas.

Property Line. See Lot Line

Public Open Space. An outdoor area for the use and enjoyment of general public or a designated Home Owners, Property Owners Association or the Town or Gilbert.

Rear Setback. See *Building Setback*.

Retail Sales. The sale, rental, or lease of goods, products, or material directly to the consumer.

Retractable Walls. Operable wall and/or window systems that allow pedestrian movement through a typically closed wall plane of a building.

Right-of-Way. The area on, below, or above a public roadway, highway, street, sidewalk, alley, waterway, or utility easement in which the municipality has an interest.

Terms

Roof Line. The eave line on any part of a building with a pitched roof, or the upper edge of the parapet wall or vertical architectural wall feature on any part of a building with a flat roof.

Screening. A method of visually shielding or obscuring an abutting or nearby use or structure from another with a solid wall, fence or perforated metal that is greater than 80% opaque.

Service Area. Often referred to as the back of house this space provides for maintenance and delivery ingress and egress.

Setback. See Building Setback and Building Setback Area.

Shall. This refers to elements that are required to meet the intent of the Design Guidelines and in order for project approval.

Shared Driveway. A driveway providing a common access to two or more lots.

Sign. See Land Development Code.

Single Family. A dwelling unit located on one lot designed for occupancy by one household for living and sleeping purposes, having cooking and sanitary facilities. Primary single family dwelling units may be attached (commonly known as townhouses or duplexes) or detached from other primary dwelling units.

Single Family Dwelling Unit

Attached. A primary dwelling unit on an individual lot that has at least 1 wall/roof in common with one or more other primary dwelling units on separate lots.

Detached. A primary dwelling unit on an individual lot that has no common walls/roofs with another primary dwelling on a separate lot.

Site Plan. A plan prepared to scale showing the boundaries of a site and the proposed location of all buildings and structures, circulation, landscaping, improvements and open space areas.

Sports Court/Field. A hardscape or field typically constructed outdoors, where such games as basketball, volleyball, street hockey, skateboarding, racquet sports and various other games and activities can be played. Backstops, backboards and goals are considered part of the sports court. Patios, driveways and unmarked concrete pads are not considered sport courts.

Street Frontage. The total length of all lot lines abutting streets.

Street Furnishings. Amenities provided for the public such as, but not limited to, seating, trash receptacles, bike racks and lighting.

Stoop. A raised stepped platform at an entrance to a building. A stoop is not a porch, patio or veranda.

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Story. The portion of a building, other than a basement, included between the upper surface of a floor and the upper surface of the floor or roof next above.

Street. A public or private thoroughfare for vehicular use providing access to public or private property and other streets, including dedicated roadway easements. A public street includes the associated right-of-way. A private street includes any associated roadway or access easement.

Street Types. Town of Gilbert Engineering and Construction Standards.

Structure. Any vertical building constructed or permanently affixed to the ground or a foundation. This excludes wall and fences.

Transient Merchants. See Municipal Code.

Transparency. The use of open and clear or sheer materials, or the combination of, to allow for the ability to see through or into. Typically, windows, doors with windows, porches or patio.

Tree Lawn. The landscape strip between the street curb and a sidewalk typically planted with grass.

Unencumbered Access. An open and unobstructed pathway.

Unique Paving. Hardscape that is significantly visually different from the surrounding horizontal surfaces.

Use. See Accessory, Primary or Temporary Use.

Vacant Land. A lot or parcel of land that is not actively used for any purpose and either no improvements, or limited improvements, have been constructed.

Vertical Articulation. Varying movement at a minimum of 2' along the top of a roof line.

Wall. An opaque or closed vertical surface forming a physical barrier preventing the passage of light, air, and vision in a horizontal plane for the screening or privacy of a yard. Walls are typically constructed of masonry, brick, concrete, metal, wood, or other similar materials. Walls and fences are not considered a structure.

Double. Two walls or a fence and a wall that are parallel or nearly parallel and do not allow space for proper maintenance and visual security.

Perimeter. An opaque wall located on an exterior lot line or property line.

Retaining. An opaque wall or combination of walls used to retain more than 18 inches of material and not used to support a structure.

Screen. An opaque wall located to limit the view of a parked car, drive through, driveways/drive aisles, recreational vehicles, boats or any other use or property that is identified by the code.

Water Feature. See Gilbert Municipal Code.

Terms

Wayfinding. Information systems that guide people through a physical environment and enhance their understanding and experience of the space.

Weather Control. See Climate Control.

Window Display. A window, typically along a street or at the front of a building, that displays items for sale or otherwise designed to attract customers to the store.

Zero Lot Line. Referring to when a building that has no setback requirement from a designated the property line.

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FOR MORE INFORMATION

Contact the Office of Economic Development
regarding the Design Guidelines or activities
in the Heritage District

Gilbert Office of Economic Development
90 E. Civic Center Drive
Gilbert, AZ 8529

480-503-6700 voice
econdev@gilbertaz.gov

gilbertedi.com | gilbertaz.gov



HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE				
Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Introduction	Update Council, RC & PC in intro page	A	Staff to update to current councils upon time of adoption	C12
Introduction	Withand typo	A	Add space between words "with and" as noted by commenter.	C12
Introduction	Insert space between visiting and working	A	Add space between words "visiting" and "working"	C12
Introduction	Remove space from off-street	A	Remove space from "off-street"	C12
Introduction	“To achieve high-quality built form”. What does that mean????	A	Add definition to glossary	C1
Introduction	“To promote development that is compatible withand complements its surroundings”	A	Add space between words "with and" as noted by commenter.	C1
Introduction	“To foster compact, pedestrian-oriented development linked to street level amenities” Is this a way of saying high density houses	A	Updated to state: To foster compact, pedestrian-oriented commercial and multifamily development linked to street amenities.	C1
Introduction	h) Encourage development of shaded outdoor spaces for the use and benefit of residents, employees and visitors. Shaded outdoor spaces is another way to say that we will not have any trees to shade the downtown making it a concreate jungle or a HEAT ISLAND.	D	Staff Response: shade comes in varying forms including trees.	C1
Introduction	a) Renovations and new construction that strengthen and maintain the early 20th century integrity of individual buildings and of the District at large Any renovations, interior and exterior? Minor versus Major? Is that defined	A	Add text for clarification: Add "Exterior" before renovations and include "This excludes ongoing maintenance of existing structures"	C1
Introduction	“Compact development so that buildings are located closer together along pedestrian-friendly streets and enclosed public places to create interest”. Enclosed public places to create interest????????????????????	A	Remove "enclosed"	C1
Introduction	Narrow streets designed for slower speed, creating a safe, attractive environment for all transportation modes (pedestrians, bicycles, buses and cars) Bicycles are not being allowed in some alleys.	D	Staff Response: To be addressed in Flex Alley	C1
Introduction	f) An urban environment that supports social interaction and is focused on the health of neighborhoods within and adjacent to the Heritage District as social units The Redevelopment Plan, per law, addresses the uses in the boundaries and not the adjacent areas. The General plan addresses the adjacent neighborhoods. Define “social units” is Gilbert no longer a community?	A	Remove "adjacent" and "social units"	C1
Introduction	PAGE 3 OF THE CURRENT HD DESIGN GUIDELINES (PAGE 3) DISCUSSES THE RELATIONSHIP BETWEEN THE GENERAL PLAN, LDC, REDEVELOPMENT PLAN AND HD DESIGN GUIDELINES. THIS IS NOT PRESENTED IN THE DRAFT COPY. I THINK THIS SECTION OF THE CURRENT DESIGN GUIDELINES SHOULD BE INCLUDED IN THE NEW VERSION.	A	Staff to include a flow chart	C6

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
<u>SECTION</u>	<u>COMMENT</u>	<u>RESPONSE</u>	<u>CLARIFICATION TO RESPONSE</u>	<u>SUBMITTER</u>
Introduction	Use Of Guidelines p.8 Uses the words “discretionary” and “flexibility” so they are not mandatory? Does that mean favoritism will prevail with who has to follow them and who doesn’t?	A	Remove "discretionary". To make this clear in the design guidelines, staff to add under applicability section a statement regarding purpose of Redevelopment Commission. The Redevelopment Commission is created to encourage development and redevelopment in the Heritage District Overlay District and other redevelopment areas designated by the Town Council, consistent with any adopted redevelopment plan and other applicable requirements. This governing board has the powers and duties to review and recommend approval, approval with modifications and/or conditions, or denial as outlined in the Town of Gilbert Land Development Code.	C4
Blend Overview	Design management of the Heritage District will ensure that the downtown can achieve the benefits of an intensified, where is that referenced in the Redevelopment Plan? Maybe another word could be used that isn’t so intense.	A	Remove "intense" and update text to read - "benefits of a pedestrian oriented, mixed-use center"	C1
Blend Overview	MAP ON PAGE 13 – APPEARS TO SHOW OUR PROPERTY (BARLOW 343, LLC AND MILLENNIAL PARTNERS LLC AS “FESTIVAL”. WHAT IS MEANT BY FESTIVAL? WHY WAS THE PARTICULAR LOCATION SELECTED AS SHOWN ON THE MAP? DOES THIS DESIGNATION AFFECT LAND USE AS ALLOWED BY HVC?	D	Staff Response: The blend section identifies the street type. Hearne Way and Bricomp's environment is already built out and are not expected to change but as the environment is built as a curbless environment with festival like elements (the lighting over Hearne, the patterns in the Right of Way), etc., it is designated a festival street. The festival street section in blend further identifies the inspirational elements allowed.	C6
Historic	Page 16 – Environment – just a question regarding width of sidewalks – due to Gilbert Road restrictions I see the 8 foot minimum but was wondering if side streets should consider 10 foot for ease of pedestrians and/or tree wells – it is referenced is specific areas but wasn’t sure.	SD	Staff Response: Staff will complete an analysis of the sidewalks. There are areas like Active and	C12
Historic	Active ground floors oriented to sidewalk What is the definition of “active”	A	Staff to include a definition for active use in the glossary.	C1
Historic	Page 16 – Massing – Do you think a more detailed photo for an example may be helpful – variations every 30-50’;	A	Staff to add inspiratonal imagery that better demonstrates variations.	C12
Historic	Page 16 – Massing – It notes 2-3 story but should there be any reference to what that translates into maximum height per floor?	SD	Staff Response: Staff to discuss request further. This question did arise at the Stakeholder Meeting and it was noted that floor heights change based on the use. That measurement will change based on the floor to ceiling ratio. A typical three-story building would be between 36 and 40 feet.	C12
Historic	No bicyclists or micro mobility Where on Gilbert Road or the sidewalks? Can a bicyclists dismount	SD	Staff Response: The Paseo is the intended multimodal route but staff is reopening conversations regarding this concern.	C1

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Historic	Loading and refuse collection should occur after peak hours How do you address the off-peak hours that will be near residential housing.	D	Staff Response: Loading and refuse can currently occur anytime throughout the day or night. Staff working to address best times of day to ensure flow of traffic and quality of life balance.	C1
Historic	While I understand space is limited I believe strongly that bike lanes should be added to Gilbert Rd from Elliot to Guadalupe in an effort to foster a "walking/pedestrian environment" within the Historic District	SD	Staff Response: The Paseo is the intended multimodal route but staff is reopening conversations regarding this concern.	C7
Historic	Why not show actual images of how it is today: EXAMPLE OF THIS IS THE “HISTORIC” ON PAGE 14. THE FOLLOWING PHOTOS AND SKETCHES DON’T SHOW THIS AREA AS IT IS TODAY.	D	Staff Response: The intention of the design guideline images were to provide axonometrics and inspirational imagery representational of the future growth without playing favorites of current buildings (i.e. selecting current buildings in the Heritage District that staff felt were best examples).	C6
Historic	THE SUMMARY OF LISTINGS ON PAGE 16 – ENVIRONMENT, MOVE, SERVICE, MASSING. HOW IS THIS LIST TO BE APPLIED OR UNDERSTOOD? FOR EXAMPLE, UNDER “MOVE” IT STATES “NO BICYCLISTS OR MICRO MOBILITY”. DOES THIS MEAN BIKE RIDERS ARE BANNED FROM THE HD? IF SO, WHERE IS THE BIKE PARKING? THIS IDEA IS NOTED IN OTHER AREAS OF THE DRAFT SUCH AS “WATER TOWER” ON PAGE 48.	SD	Staff Response: The Paseo is the intended multimodal route but staff is reopening conversations regarding this concern.	C6
Historic	ALSO.....“NO VISIBLE SURFACE PARKING”? HOW IS THIS TO BE UNDERSTOOD? SURFACE. PARKING IS EASILY VISIBLE IN MANY AREAS OF THE HD SUCH AS ON WEST SIDE OF ELM STREET FRONTAGE, NORTH SIDE OF THE COLLEGE, ALONG SOUTHSIDE OF VAUGHN WEST OF GILBERT RD., ETC.	A	Staff to modify text to note: No new surface lot parking is to be visible from arterial and collector streets.	C6
Historic	WHAT ODES “MOVE” MEAN AS IT IS USED ON THIS DRAFT?	A	Staff to include a definition for environment, service, move, and massing in the use of guidelines section.	C6
Historic	PAGE 16 – “SERVICE” “LIMITED ACCESS TO ALLEYS, PARKING GARAGES AND PARKING LOTS”. WHY WOULD WE WANT TO LIMIT ACCESS TO PARKING GARAGES OR PARKING LOTS? OVERALL, I DON’T THINK THESE HEADINGS AND THEIR APPLICABILITY ARE CLEARLY EXPLAINED. HOW THIS INFORMATION IS TO BE APPLIED.	A	Staff to modify text to: limit curb cuts from arterial and collector streets in order to minimize traffic stacking issues	C6
Historic	Drawing on page 17 - THIS DOESN’T LOOK LIKE ANY LOCATION IN THE HD. THE STREETS - SHOULD BE LABELED ON ALL THE MAPS. AGAIN, I BELIEVE WE SHOULD BE USING ACTUAL STREET SCENES AND DEVELOPMENTS THAT ALREADY EXIST IN THE HD. THE DRAWING ISN’T VERY CLEAR WITH REGARD TO THE NUMBERING. THERE NEEDS TO BE MORE DETAIL. FOR EXAMPLE, #5 – FACADES SHOULD VARY EVERY 30-50’ BUT THE DETAIL ON THE BUILDING SKETCH DOESN’T REALLY SHOW ANYTHING. PHOTOS OF VARYING FACADES ALREADY DEVELOPED IN THE HD SHOULD BE PRESENTED.	D	Staff Response: The intention of the design guideline images were to provide axonometrics and inspirational imagery representational of the future growth. There are some iconic buildings as seen in the axonometric and some inspirational buildings.	C6

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Historic	PAGE 16 DRAFT STATES FACADES SHOULD VARY EVERY 30-50'. 30-50' IS NOT A SIGNIFICANT DISTANCE. WHY WOULD THE TOWN BE REQUIRING A BUILDING FACADE TO VARY EVERY 30-50' ? IS THIS REFERRING TO A DESIGN CHANGE IN THE FACADE? IS THIS A REQUIREMENT TO BE IMPOSED ON THE DEVELOPER? OR JUST A RECOMMENDATION	D	Staff Response: 30-50' is an accurate historical delineation for a facade variation. This is also consistent with what the Redevelopment Commission has asked for in past applications with smaller pedestrian oriented buildings.	C6
Historic	p. 15 Third image from left doesn't fit our historic downtown. Massed buildings should be of relatively same height. Low and high buildings together give a sense of overshadowing and shouldn't be done.	D	Staff Response: The Land Development Code allows for 55' and has since 2005 when the Heritage District Overlay Zoning District was created.This image serves as good example of vertical building variations.	C4
Historic	Massing p. 16 Why is 2-3 story stated when over 50% is currently 1 story? The history of the town is one story so 1-2 story should be encouraged to maintain the character.	D	Staff Response: Staff has included a note that 2-3 stories is preferred with the intent to further the historical nature of Gilbert Road. However, the Land Development Code allows for 55' and has since 2005 when the Heritage District Overlay Zoning District was created.	C4
Historic	p. 17 Make sure shade canopies are at pedestrian level, as shown in pictorial, not 2-3 story arcades.	D	Staff Response: All canopies in the Historical Street image shown at level one in picture. Town would allow for two story arcades that match the architectural style of the building.	C4
Historic	Will bicycles be allowed on Gilbert Road?	N/A	Yes, bicyclists are allowed on Gilbert Road, although we will encourage people to use the Paseo. During the Redevelopment Plan update as well as a transportation and circulation stakeholder group a few years ago, there were comments that people did not feel safe biking up Gilbert Road because of the way the street is designed. There are certainly regular cyclists who utilize Gilbert Road, although we wanted to address the comfort with bicycling through the Paseo.	STAKEHOLDER MEETING
Active	Environment – expanded definition/photo of transparency between the various requirements?	A	Staff Response: Staff to update and clarify transparency.	C12
Active	Loading and refuse collection should occur after peak hours How about the residents who will be sleeping during those hours.	D	Staff Reponse: Hours of loading, unloading or flex lanes has yet to be determined and are being discussed. However, refuse and loading are currently allowed 24 hours a day. Limiting the hours will improve residents quality of life and traffic congestion.	C1
Active	Where do you address underground utilities.....? Who is paying for that?	D	Staff Response: Underground utilities is an engineering standard for new development.	C1
Active	Mixed use and residential character What type of character, what is the vision, where is this referenced in the Redevelopment Plan	D	Staff Resposne: This document is meant to create the vision for the mixed use areas.	C1
Active	Requires Garages and Parking Off Alleys - I'm not sure this should apply at Washington and Ash	A	Add "or local streets"	C2

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Active	6' Sidewalks - Consistency: Minimum sidewalk widths were listed under "Environment" on the "Historic" page.	D	Staff Response: Active is a different area than Historic.	C2
Active	10' Stepback - I realize 10' is common elsewhere in the code but wonder if 6' plus other architectural treatments could accomplish the same result. I've heard Staff mention that this could be expanded to adjacent to single-family residential homes as well. Again, 10' may be more than is needed. Or perhaps the step back should be at the 4th floor instead of the 3rd floor.	A	Add "Stepback is measured from the property line or setback not the face of building"	C2
Active	Why is transparency 75% in Active when it was only 50% along Gilbert Road?	A	Staff modified commercial to 75% transparency on historic as is currently identified in the Land Development Code.	C2
Active	“ACTIVE” PAGE 20, “MASSING” , VARY VERTICAL MASSING EVERY 50’ TO 80’. WHY IS THIS REFERRING TO VERTICAL GREATER THAN 55’? HVC ALLOWS MAX STORY HEIGHT OF 55’. THIS DOESN’T APPEAR TO BE CONSISTENT WITH HVC ZONING. THIS SHOULD AGREE WITH THE CURRENT LDC. THIS ALSO APPEARS TO BE AN OVERREACH. THE HD DESIGN GUIDELINES SHOULD BE ABOUT DESIGN.	D	Staff Response: 50 to 80' refers to linear distancing not height	C6
Active	General – These streets are primarily residential housing. The guidelines should be the same as other residential streets in the Heritage District. The way these guidelines read, it appears existing homes will be removed for this new type of development.	D	Staff Response: This area is zoned for multifamily (density allowed would be 8-14 Dwelling Units/acre per the Land Development Code) and mixed use.	C4
Active	Environment p. 20 What does 50% transparency for residential mean? If 50% of street facing walls are glass, won’t be able to put windows in rest of house and meet energy codes.	A & D	Accept: Transparency to be defined in the glossary. Staff Response: Transparency is the inclusion of patios, porches and windows and a combination thereof. As active is zoned for multifamily or Village Center, staff is defining the transparency for the mixed use environment. This would not apply to an existing single family home.	C4
Active	Move p. 20 Existing homes in that area have driveways off street, not alleys. Will not be cohesive with what is existing. Structures on East side of Palm don’t even have alleys. How does that work?	D	Staff Response: The area is zoned for multifamily (density allowed would be 8-14 Dwelling Units/acre per the Land Development Code) . Existing single family homes would be exempt from this requirement.	C4
Active	Homes currently use street parking for guests and extra vehicles, what are they supposed to do if there is no street parking?	D	Staff Reponse: On street parking will remain but as the area grows, staff will work with transportation planning and traffic engineering to intersperse flexible loading zones that allow for commercial deliveries, passenger loading and on street parking. Locations have yet to be determined.	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

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SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Active	Massing p.20 Majority of structures in this area are, or are adjacent to, single family, one story homes. How do 2-4 stories fit the character of that area? The existing homes will be overshadowed by any new structures, restricting views, sunlight, and natural airflow.	D	Staff Response: This area is zoned for multifamily (density allowed would be 8-14 Dwelling Units/acre per the Land Development Code) and mixed use.	C4
Active	Any third story should be set back on all sides 10’ to open up views for single story homes that are predominant in this area.	D	Staff Response: The Heritage District is meant to be an urban environment. Staff has recommended that stepbacks be included on perimeter of Heritage District.	C4
Active	Facades need to vary every 30’-50’ like in all other areas of Heritage District. 80’ masses don’t fit character of the area at all.	D	Staff Response: 50 to 80' refers to linear distancing not height	C4
Active	Active; Where will the residents park. Is the town of gilbert subsidizing parking in the Active area. This is giving property owners an increase in their land value by not requiring parking. If parking is not required in the Active section it should not be required in the Residential parking in the Local area.	D	Staff Response: Parking is defined in the land development code. All residential needs to be parked on site. Commercial use can apply for an administrative use permit to park offsite. The axonometric image assumes that residential parking is included (i.e. parking garage underground, off alley, or residential wrapped).	C1
Active	Will three to four stories be encouraged if single story is more prevalent on Active Streets?	N/A	The Active streets will be along Palm, Elm, Vaughn, Page and Cullumber. As we transition with some of the uses, there is interest for multi-family, as it is already zoned there, as well as rezoning to HVC for more mixed-use development which would allow for first floor commercial such as cafes. Additional height as allowed under code is not restricted.	STAKEHOLDER MEETING
Active	Will the stepback be required at the north end development at Gilbert and Juniper?	N/A	Yes there will be a stepback requirement along any district boundary. There are discussions to have a stepback adjacent to any single-family zoning within the district to provide a buffer.	STAKEHOLDER MEETING
Active	This section looks a lot like New York City type buildings. Like the idea but suggest that the architecture be more of the southwest look.	N/A	Stakeholder to send examples of photos of a southwest influence multifamily "row house"	STAKEHOLDER MEETING
Connect	Busy (traffic, drop-off/pick-up, people coming and going) How about ADA parking	D	Staff Comment: ADA parking would be addressed by federal law and is done so during building review/design review.	C1
Connect	Magnetic (variety of shopping, entertainment, university uses to attract people) Why are we limiting the current town owned building to a university. That needs to be sold and the uses should be within the Redevelopment Plan. (not sure if the land was addressed in the Redevelopment Plan)	A	Add "and"	C1
Connect	Active 1st floor or enhanced design to create interest What does that mean. Is it referenced in the Redevelopment Plan?	A	Staff to add active definition to first floor. Active is a standard architectural terms that means there are interesting things for pedestrians to look at and interact with	C1

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

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SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Connect	ROW Imagery: These do not appear to be mature trees. Trees this close to the road will be clipped by vehicles and will reduce 1st floor signage visibility. May also touch buildings.	SD	Staff Response: Tree species have yet to be determined and maintenance is being discussed by staff	C2
Connect	ROW Imagery: This ROW doesn't exist anywhere on Vaughn and would create a zig-zag with pinch-points at key intersections, including Gilbert Rd. Taking additional ROW will make neighboring properties far less developable. Also - are there no bike lanes?	D	Staff Response: The intent of the document is not to acquire additional land but to provide guidance and cross sections will vary as necessary - CIP projects underway to better refine/enhance.	C2
Connect	ROW Imagery: What about rideshare drop off locations?	A	Will be addressed by flex lane in modified cross section language	C2
Connect	Massing p.24 10' setback of third floor needs to be on any street front for a pedestrian friendly mass. Opens view up to sky.	D		C2
Connect	Move p.24 Street parking should be encouraged to allow easy access to retail and restaurants, especially for handicap and elderly. Consolidating parking to remote ramps and lots makes this area difficult for handicap and elderly to visit. It is near to the point of discrimination.	D	Staff Response: ADA is addressed per federal law and is compliance is ensured during building review/design review.	C4
Connect	First floor articulation with timeless durable materials (the materials are not spelled out as it is in the residential areas) The Design Guidelines provide greater flexibility to the commercial property owners, hence increasing their land value. Did not address any architecture design or materials and character. The commercial development is providing more flexibility and therefore increasing their property value.	D	Staff Response: The color and material pallet for commercial projects are included in create.	C1
Connect	Rooftop and at grade services should be architecturally integrated and screened. Rooftop services must not directly overlook the residential neighborhoods. This has a detrimental impact on the livability since the services will create a nuisance.	D	Staff Response: Rooftop services relates to mechanical equipment	C1
Connect	There are currently issues controlling speed along Ash Street with many people crossing to utilize the trails. There was concern for controlling the speed of vehicles in the area.	SD	Staff Response: To be addressed with Police	STAKEHOLDER MEETING
Festival	Balconies, terraces and roof decks required overlooking the street: Required seems to strong here	A	Update to say: "Shall be integrated as a component of the project"	C2
Festival	Transparency: Why 75% when Gilbert Rd. and other prominent roads are 50%?	A	Updated Historical to 75% transparency per the Land Development Code.	C2
Festival	General – These short little blocks need to be incorporated into surrounding area, not be a separate section. They belong with Water Tower, Living Room, and Commons	D	Staff Comment: Good urban design practices suggest that downtowns not be homogenous rather have similar elements like street furniture, banner poles, lighting, etc to tie the downtown together. Festival streets are meant to be unique nodes within the district that act as an element of placemaking to draw pedestrians into a space.	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

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SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Festival	Environment & Move p.28 Says there’s to be no curbs yet calls for rideshare curbside drop off. This seems very dangerous to pedestrians to not have a physical stopping point for vehicles to pull up to.	D	Staff Response: Festival streets are unique areas meant to be bustling. Curbless environments prevent tripping hazards. Hearne Way is a current example of a festival street that includes a rideshare drop off area in a curbless environment.	C4
Festival	Massing p.28 Anything over one story on three of these blocks will virtually cut off the view of the water tower from anywhere except right under it. The water tower is an icon of Gilbert and site lines should be preserved with the design guidelines.	D	Staff Response: The Land Development Code allows for 55' and has since 2005 when the Heritage District Overlay Zoning District was created.	C4
Festival	There is no maximum building height designated for these areas. Is this the town’s way of slipping in massive skyscrapers?	D	Staff Response: The Land Development Code allows for 55' and has since 2005 when the Heritage District Overlay Zoning District was created.	C4
Festival	These are next to key gathering areas so buildings should be low to preserve views and open feel.	D	Staff Response: The Land Development Code allows for 55' and has since 2005 when the Heritage District Overlay Zoning District was created.	C4
Local	Wide sidewalks Lacy Tract was established in 1917 and historically wide sidewalks did and do not exist. My sidewalk is dated 1957 and must remain at its current width. This is a residential area not a main thoroughfare. Making wide sidewalks will contribute to the heat island and a concrete jungle. ADA rules do not apply to developments established in 1917.	A	Staff Response: Sidewalks in Lacy Tract will remain.	C1
Local	4’ to 6’ sidewalks Remove 6’	D	Staff Response: Sidewalks in Lacy Tract will remain.	C1
Local	Recessed attached or recessed detached garages Carports are currently allowed and must remain allowed (Lacy Tract)	A	Add "and carports"	C1
Local	Currently light poles are on one side of the street	D	Staff Response: Staff understands that cross sections may vary. Meant to be inspirational.	C1
Local	Street trees within a tree lawn The tree lawn is not town property, right?	D	Staff Reponse: The tree lawn is considered right of way from back of curb to sidewalk	C1
Local	General – Again, these should be incorporated into the guidelines for these areas, not have a separate section here that only adds to confusion and redundancy.	D	Staff Response: Staff reviewed more than 30 examples of design guidelines best practices as well as best practices from the American Planning Association and International Downtown Association. The organization of this document was based off of staff review of such documents and industry leaders and was accepted by the Redevelopment Commission.	C4
Local	p.31 Depiction shows two story homes yet current homes are all one story and guidelines, later under Lacy Tract, recommend one story. Very inconsistent and confusing.	D	Staff Response: Land Development Code allows homes in Lacy Tract up to 36'. Prefer does not mean mandatory. Town is not removing property rights. The axonometric image meant to demonstrate what is allowed.	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Local	Environment p.32 Existing sidewalks are as narrow as 3’ and streets are not 40’ wide. This causes three issues. First, many homeowners in this area are low income and can’t afford to fund these extreme changes. Second, it changes the entire character of the areas from narrow streets and sidewalks where you can easily talk to your neighbors on their porch across the street, to wide streets with more traffic, not conducive to neighboring chats. Third, many of these homes and yards encroach on the ROW, and have for decades. Widening the streets and sidewalks will effectively destroy walls, fences, shrubbery, trees, landscaping, and in some cases porches. Again, this seems like an effort to get rid of existing homes to make for higher density housing.	D & A	Staff Response: There are no changes to the current Lacy Tract streets and sidewalks. Image is meant to show two lanes of traffic and on street parking Note: Staff will be updating all cross sections to remove the widths and add in the zones as listed in the Redevelopment Plan as opposed to the cross section measurements.	C4
Local	Who is going to take care of this extra space the ROW creates. Currently homeowners treat the space up to the sidewalk as part of their yard, breaking the yards up as these guidelines propose, would make that unnatural for both town upkeep and resident upkeep. No clear delineation.	D	Staff Response: There is no change to the current right of way.	C4
Local	What does “low front yard fencing” mean. Again, many homes have 4’+ walls and fences in the front yards. Why changing the history as it is?	D	Staff Response: This is not a change. The Land Development Code states that 3' maximum fencing is allowed in front setback.	C4
Local	What does 40% front transparency mean? Historical homes did not have that much glass if that is what is being required. Doesn’t fit the period at all.	D	Staff Response: Transparency is the inclusion of patios, porches and windows and a combination thereof.	C4
Local	What does articulated walls mean?	A	Add Articulated Wall to Glossary. Removed from Local section.	C4
Local	Massing p.32 There will be no room for front yards, patios... with the widened roads for many of the properties.	D	Staff Response: Streets are not widening. The image represents the street as it is today, two lanes of travel (one in each direction) and on-street parking.	C4
Local	The houses in the drawing have front facing garages.	D	Staff Response: Front, rear, etc garages are allowed. Image is meant to demonstrate the varying ways to access properties.	C1
Local	Historic architecture (The design guidelines does provide any detail regarding historic architecture) However, the Local Residential, Lacy Tract goes into extreme detail on the type of building materials and fencing) The Design Guidelines are inconsistent providing extreme differences in the private property rights of the commercial property owners verses residential property owners.	RC	Staff Comment: The goal of this guideline was to ensure that the architecture of the area was similar to the plat to ensure the character of Lacy Tract is maintained. WHAT are we fighting for in regards to preservation?	C1

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
<u>SECTION</u>	<u>COMMENT</u>	<u>RESPONSE</u>	<u>CLARIFICATION TO RESPONSE</u>	<u>SUBMITTER</u>
Local	I love that you are encouraging sidewalks and tree/lawns on each side of the streets in the "LOCAL" neighborhood areas. Currently, many of those trees in Lacy Tract are dying in those areas because there is no water source. The city replaces the trees each time they die, but they continue to die because there are no sprinklers. Local residents, including myself, water the trees in front of our property, but it's not enough. So some kind of plan needs to be included for that to work.	D	There is no change being requested to the guidelines from this comment. Staff would like to note that there is a street tree masterplan project and staff will provide this comment to the project to note.	C15
Flex Alley	No bicyclists or micro mobility REMOVE This is town owned alleys and bicyclists or micro mobility must be allowed. This requirement is not part of the residential alleys. People who reside in this area will own bicycles and other modes of transportation.	SD	Staff Response: The Paseo is the intended multimodal route but staff is reopening conversations regarding this concern.	C1
Flex Alley	General – These alleys are within other areas and represent conflicting guidelines.	D	Staff Response: The alleyways are critical to 360 degree archicture and therefore standards have been created.	C4
Flex Alley	p. 34 Pictures makes these seem like pedestrian walkways that may be used for delivery access. This is not the case according to other guidelines that require these alleys to be the main access to homes and other buildings along them.	D	Staff Response: The flex alleys will be utilized for both. While there are single family homes located on the east side of Gilbert Road, they are located within multifamily zoning (8-14 Dwelling Units/acre per the Land Development Code) and are anticipated to develop over time.	C4
Flex Alley	Shows Western Alley going through an existing building. Will buildings be torn down?	D	Staff Response: The building is an indoor walkway built over Town right of way. Owner has a ten year easement to utilize the Town property.	C4
Flex Alley	p. 35 Will have to take private property to have the alleys that wide.	D	Staff Response: The alleys on the west side of Gilbert are already this wide. If the area on the east side of Gilbert transitions to its current zoning of multifamily (8-14 Dwelling Units/acre) or to mixed use development as anticipated via zoning, developers would have to amend to meet new standards. 15' alley would never support multifamily development	C4
Flex Alley	Move p.36 How can you have designated pedestrian times if you are requiring the adjacent homes to use the East Alley as their access? This is contradictory. Making it a pedestrian friendly space and designating it as primary access are conflicting.	D	Staff Response: The flex alleys are predominately commercial. The east side flex alleyways adjacent to single family homes is located in an area already zoned for multifamily (8-14 Dwelling Units/acre). The intent is that it will develop over time. The design guidelines are meant to be inspirational.	C4
Flex Alley	Noise from early or late delivery times affects the peace of residents.	D	Staff Response: Delivery times are not currently regulated and are allowed 24/7. Staff will work to determine an acceptable time.	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Mews	vehicular utility access. Utility sounds like vehicle maintenance access. This is an alley and should be used for residential vehicle access. Cars should not be allowed to use it as a roadway or cut through.	D	Staff Response: This is currently where utilities are located and as such, utility vehicles will need the ability to access.	C1
Mews	(pedestrian and vehicular access) This vehicular access should be for local residents. I'm not sure how to word that.	D	Staff Response: This is public right of way so we cannot designate that it is for local residents only.	C1
Mews	Remove 3' from the drawing and the car. The car should be depicted as going to their garage and not driving trough. It makes it look like a road and not an alley.	A	Updated to remove 3'	C1
Mews	Pictures show garbage cans, utility poles, and the picture with the garage door does not look like art. What is the orange thing sticking out?	D	Staff Response: The imagery is meant to show examples of alleyways that have been improved.	C1
Mews	I do not think that an alley should be an advertisement or make any kind of statement other than a reference to residential historic facts.	D	Staff Response: In staff research of alleyways, improved alleyways and artwork help to prevent illegal dumping and graffiti.	C1
Mews	Limited to no landscape within the pathway This is an alley and not a pathway, should not be the main way for pedestrian travel. That is why we have sidewalks.	D	Staff Response: The alleyway is public right of way and as such, pedestrians are allowed.	C1
Mews	Themed alley art walls. REMOVE, is graffiti considered art? It is in some cities, but not in Gilbert! Who decides what is art and who decides what is themed art.? I do not want to have anyone tell me that I have to place any art on my property. The Town does not have to right to dictate my property rights as it relates to art.	A	Updated to alley art walls are encouraged. Town does not regulate public art other than it has to meet the decency requirements in code.	C1
Mews	Is there are current laws that does not allow residents from painting their exterior block walls	D	Staff Response: No. Town does not regulate art.	C1
Mews	Shared pedestrian vehicular pathway Neighbors are concerned with this, this must be address with the neighborhood.	D	Staff Response: The alleyway is public right of way and as such, pedestrians are allowed.	C1
Mews	Children at play Children should not be playing in the alley, they should play in Veterans Park. This is creating a safety issue.	A	Removed from text. NOTE: As this is public right of way, all public have access to utilize the alleyway	C1
Mews	Recessed or detached garages with a 3' apron CARPORT	A	"Carport" added	C1
Mews	Remove the 3' from the picture Remove above ground lighting Remove fence line that is setback 3 '	A	3' Removed. Remove lighting from image	C1
Mews	Why are there garbage cans	A	Remove garbage cans from image	C1
Mews	1 and Two Story Single Family Homes and Accessory Structures: except for alley north of Washington and west of Gilbert Road adjacent to Town-owned parcel	A	Added "except for land zoned HVC which allows for up to 55"	C2

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Mews	General – Again these should be addressed within the guidelines of the residential areas. Makes it confusing and leads to conflicts separating it.	D	Staff Response: Staff reviewed more than 30 examples of design guidelines best practices as well as best practices from the American Planning Association and International Downtown Association. The organization of this document was based off of staff review of such documents and industry leaders and was accepted	C4
Mews	Why the confusing name? They are residential alleys, why not call them what they are instead of making up titles.	A	Rename to Local Alley	C4
Mews	p.39 Not room for landscaping and vehicle traffic as shown in depiction without encroaching on private property. Fences and walls should not be required and should be placed on property line.	D	Staff Response: Fences and walls are not required. Image showing examples how residents can design their back areas in relation to the alley. The resident has the right to add landscaping, fencing/wall on their property.	C4
Mews	Massing p.40 How can you have a front yard in an alley? These are adjacent to residential back yards.	D	Staff Response: The Land Development Code allows for secondary dwelling units and home offices facing the alleyway. As such, the image is meant to demonstrate ideas of how homeowners can integrate with the alley to improve the experience for their secondary dwelling unit or office with a rear yard.	C4
Mews	p.41 Depiction looks like front yards. The alleys run along the back yards of homes.	D	Staff Response: The Land Development Code allows for secondary dwelling units and home offices facing the alleyway. As such, the image is meant to demonstrate ideas of how homeowners can integrate with the alley to improve the experience for their secondary dwelling unit or office with a rear yard.	C4
Mews	Remove “Mews” Call the Alley what it is an “Alley” The original plat uses the term Alley and in all as-builts use the term Alley. The term Alley must be used since it is an established alley. The Alley has been in existence for over 100 years. The change in name will impact the use category as it is an alley and it is used to access my property. Engineers refer to the Alley as an alley. The term Alley is referred to in the Land Development Code. You are changing the use of the Alley by renaming it and therefore effecting my private property rights.	A	Updated to Local Alley	C1
Mews	I agree with removing the lighting from the mews/alleys as that would shine into every house at night when there are street lights on the front street side of each property, which are bright already.	A	Lighting removed from residential alleyways	C15
Mews	I disagree with adding "Themed alley art walls" and murals in the mews/alleys. I would prefer to encourage it to be an upscale small neighborhood feel, not an urban neighborhood like phoenix. I suggest replacing those example pictures with nicer alley pictures from california perhaps.	SD	Staff to discuss for draft #2	C15

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Congregate	Why are parks in the design guidelines? Parks must be owned and operated by the Town so that they will always remain owned by the residents of Gilbert and not sold to developers. Parks are a town function. Developers do not need to know how to design parks.	RC	Inclusion of the parks ensures that whether they are publically or privately developed, they meet the input from the Redevelopment Plan. It also helps development near the parks understand the intent so they can better integrate their project with their surroundings.	C1
Water Tower	What happen to the 55' to preserve the views and prominence of the Gilbert Water Tower (Page 22 & 37 of the Redevelopment Plan) Not one word about the prominence of the water tower, or preservation of the views	D	Staff Response: As noted, Staff has indicated that 2-3 stories is preferred for buildings surrounding Water Tower Plaza. However, the Land Development Code allows for 55' and has since 2005 when the Heritage District Overlay Zoning District was created.	C1
Water Tower	Water Tower – Relationships – this is mentioned in other areas as well – is there a reason for the 10' setback at the 3 rd floor on street level? Not opposed, just interested in reasoning.	A	Removed text. This was an oversight.	C12
Water Tower	Page 48 – Water Tower – Benefits – no bicyclists...wondering if we need to address the need for connectivity for bikes through the downtown. I can't remember if we have that outlined in the redevelopment plan so maybe it is already addressed.	SD	Staff Response: In the technical review of the document, it became aparent that a larger connectivity discussion needs to be had regarding bicycles and micromobility. Staff will be connecting to discuss further and bring forth recommendations.	C12
Water Tower	10' Stepback - Change from "must" to "encouraged."	A	Removing stepback as is it not on the perimeter of the district.	C2
Water Tower	General – Buildings shouldn't be built in this area. Not sure why this needs its own guidelines. The surrounding area guidelines should cover everything.	D	Staff Response: The image is not indended to suggest that buildings will be built over Water Tower Plaza. The image and guidelines are meant to demonstrate how public or private spaces should relate with their surroundings, and in this case, more specifically, how they should integrate with Water Tower Plaza.	C4
Water Tower	Environment p.48 Should not be walled off, not even if walls are retractable. Why separate it?	D	Staff Response: The image and guidelines are meant to demonstrate how public or private spaces should relate with their surroundings. Operable walls refer to buildings adjacent to Water Tower Plaza and the Town's desire for the surrounding environment to thoughtfully integrate with the public space.	C4
Water Tower	Relationships p.48 Surrounding buildings should be 1-2 story to keep the space feeling open and parklike.	D	Staff Response: As noted, Staff has indicated that 2-3 stories is preferred for buildings surrounding Water Tower Plaza. However, the Land Development Code allows for 55' and has since 2005 when the Heritage District Overlay Zoning District was created.	C4
Paseo	Page 52 – Paseo – I'm wondering who is paying for the pavement, lights, etc. in this area. Not sure how it will be consistent if left to each owner. Also, I didn't see night time lighting noted in this section but was in other pedestrian sections.	A	Staff noted under distinctive lighting "lighting shall provide safety at nighttime". There is currently a CIP in place for pre-design of the Paseo that is kicking off in the November/December time frame. This effort will ensure that critical elements paid for by developers are selected by Gilbert and contiguous throughout the sections of the Paseo.	C12

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Paseo	Need more trees	D	Staff Response: Intermitten trees is already included in the environment guideline. Staff will work to add trees for shading as allowable.	C1
Paseo	Multi use pathway What does that mean. CARS?	D	Staff Response: The term multiuse pathway refers bicycles and pedestrians. In urban planning, pathways, much like the term trails, do not refer to cars.	C1
Paseo	Access to alleys, parking garages and parking lots. What access to alleys. The Paseo should not direct people to the residential alleys. Lacy Tract	A	Staff to note there are varying cross sections for north, middle and south paseo.	C1
Paseo	The image is not accurate. Check the Redevelopment Plan. Paseo image	A	Need to include imagery / cross section that also represents south portion of the Paseo.	C1
Paseo	General – Since over a third of this runs through a low income residential area, who is going to pay for the improvements in that area? Are existing businesses going to be required to pay for the area running past their establishments?	D	Staff Response: Funding will be a combination of Town CIP and private development, not requiried by residents.	C4
Paseo	Relationships p.52 How are residents expected to have active or transparent fronts? How are residential properties going to be screened and who will pay for that? Now dogs lunge at you when walking along sidewalk.	A	Add "commercial" Staff Response: This is a requirement for areas of the Paseo adjacent to commercial.	C4
Paseo	Does the Paseo extend to Juniper?		Yes, although it may zig-zag a little bit. That is a continuing conversation with the developers for the 9.1 acre site. The Paseo will also be built out in the southern portion of the district to the south of the Union Pacific and Lacy Tract area with similar elements.	STAKEHOLDER MEETING
Veterans	The standards and guidelines set forth in this manual apply to all commercial, residential and public properties within the Gilbert Heritage District. Veterans Park was referenced in the Redevelopment Plan, page 25, with no change. It remains classified in the General Plan. The design guides are changing the use and taking away Lacy Track’s neighborhood park and replacing it with concrete and a building. (A large building is not a restroom)	RC	Stakeholder Discussion and RC Discussion: The image currently depicts a building on the vacant, dirt parcel adjacent to Veterans Park. The PFI zoning allows for buildings that are 55' by right. The intent of the design guidelines is to be inspirational and provide guidance for any future development. Staff feels that a 1-2 story building is most appropriate, rather than 55', should it ever be developed by public or private sector. As such, staff has included an inspirational image matching the preference. Should this building be kept in the image or removed?	C1
Veterans	The official name of the Park is Veterans Park	D		C1

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Veterans	There was no change to Veterans Park in the Redevelopment Plan. The park was classified no change and it remains classified as a Neighborhood Park in the General Plan.	RC	Staff Response: The design guidelines do not address rezoning, rather, is meant to communicate design expectations and promote development that is compatible with and complements its surroundings. PFI zoning allows for 55' by right. Staff feels depicting a 2-3 story image clearly promotes the scale of building, if ever developed by Town or private entitiy.	C1
Veterans	The Paseo will be cutting through the park and taking out the current playground and ramada.	D	Staff Response: As part of the Paseo CIP, any ramadas, playground equipment, trees, etc. would be moved slightly east if necessary. The intention is not to eliminate the park features already in place but to preserve them.	C1
Veterans	Once, the Paseo goes through there will be 20’ minimal concrete or specialty surface which will eliminate useable space and create a heat island and make the park a concrete jungle.	A	Add "large lawn area" to image. Note: Lawn area is already included in the environment design guideline.	C1
Veterans	The Paseo combined with a new building and more concrete will take away the neighborhood park to give the property to another use.	D	Staff Response: The design guidelines do not address rezoning, rather, is meant to communicate design expectations and promote development that is compatible with and complements its surroundings. PFI zoning allows for 55' by right. Staff feels depicting a 2-3 story image clearly promotes the scale of building, if ever developed by Town or private entitiy.	C1
Veterans	This is a substantial change to the Redevelopment Plan which negatively affects the residents of Lacy Tract	RC	Staff Response: The design guidelines do not address rezoning, rather, is meant to communicate design expectations and promote development that is compatible with and complements its surroundings. PFI zoning allows for 55' by right. Staff feels depicting a 2-3 story image clearly promotes the scale of building, if ever developed by Town or private entitiy.	C1
Veterans	If the General Plan passes, Veterans Park will remain a neighborhood park.	D	Staff Response: The design guidelines do not address rezoning, rather, is meant to communicate design expectations and promote development that is compatible with and complements its surroundings.	C1
Veterans	A multigeneration experience can be can be included in a neighborhood park since the residents in the area include a diverse population. Seniors (Page Commons), families, empty nesters, millennials, and others.	A	Description of family modified to "multigenerational"	C1

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Veterans	Move the building to Legacy Park where there is a high density of residents	RC	Staff Response: The design guidelines do not address rezoning, rather, is meant to communicate design expectations and promote development that is compatible with and complements its surroundings. PFI zoning allows for 55' by right. Staff feels depicting a 2-3 story image clearly promotes the scale of building, if ever developed by Town or private entitiy.	C1
Veterans	We need grass and the existing trees must be saved and the Paseo must be built around the trees.	A	Staff Response: As part of the Paseo CIP, any ramadas, playground equipment, trees, etc. would be moved slightly east if necessary. The intention is not to eliminate the park features already in place but to preserve them.	C1
Veterans	Public Restrooms	RC	Staff Comment: Neighborhood parks do not have restrooms. If a building was ever developed on site whether by the Town of Gilbert or private developer, Town would require public restrooms.	C1
Veterans	#4 1 and 2 Story structures preferred. The picture does not provide an accurate depiction. It is misleading and takes the neighborhood park away from Lacy Tract.	RC	Stakeholder Discussion and RC Discussion: The image currently depicts a building on the vacant, dirt parcel adjacent to Veterans Park. The PFI zoning allows for buildings that are 55' by right. The intent of the design guidelines is to be inspirational and provide guidance for any future development. Staff feels that a 1-2 story building is most appropriate, rather than 55', should it ever be developed by public or private sector. As such, staff has included an inspirational image matching the preference. Should this building be kept in the image or removed?	C1
Veterans	VETERANS – PAGE 56 THE DRAFT APPEARS TO STATE, IN EFFECT, THIS AREA WILL ACT AS AN URBAN PARK. THEN ON PAGE 56, UNDER HEADINGS, THERE IS MENTION OF 1 AND 2 STORY STRUCTURES SURROUNDING THE AREA (DEFINE AREA) IS PREFERRED. ALSO MENTION OF YARDS, COURTYARDS, ETC., CLIMATE CONTROL? ENVIRONMENT? THIS AREA IS ALREADY DEVELOPED WITH S/F HOMES FOR THE MOST PART. I DON'T UNDERSTAND HOW OR WHY THIS CRITERIA IS PRESENTED. IF IT'S A PARK THEN I WOULD ASSUME IT STAYS A PARK WITH SOME UPGRADES. AT ONE TIME , THE AMERICAN LEGION PROPOSED A NEW AMERICAN LEGION FACILITY ON PART OF THIS SITE. THAT PROJECT DID NOT GO FORWARD BECAUSE OF LACK OF FUNDING TO BUILD THE STRUCTURE.	RC	Stakeholder Discussion and RC Discussion: The image currently depicts a building on the vacant, dirt parcel adjacent to Veterans Park. The PFI zoning allows for buildings that are 55' by right. The intent of the design guidelines is to be inspirational and provide guidance for any future development. Staff feels that a 1-2 story building is most appropriate, rather than 55', should it ever be developed by public or private sector. As such, staff has included an inspirational image matching the preference. Should this building be kept in the image or removed?	C6

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

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SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Veterans	PAGE 57 - IT WOULD BE VERY HELPFUL IF THE VETERANS PARK EXHIBIT WOULD SHOW AN ACTUAL AERIAL PHOTO FROM COUNTY ASSESSOR WEB SITE. THE STREETS AROUND THE PARK ARE NOT LABELED. THE DRAWING ON PAGE 57 DOESN'T EVEN COME CLOSE TO WHAT SURROUNDING USES ARE PRESENTLY AND WHAT THIS SPECIFIC AREA LOOKS LIKE TODAY.	D	Staff Response: The intention of the design guideline images were to provide axonometrics and inspirational imagery representational of the future growth	C6
Veterans	Remove Veterans Park from design guidelines. The redevelopment plan refers to the General Plan and that is an established neighborhood Park.	RC		C1
Veterans	k) Enhance the quality of life for all residents in the area Selling a large portion of a neighborhood Veterans Park does not enhance the quality of life for all residents in the area. Approximately 5500 square feet of the Veterans Parks will accommodate the Peso which leave the park as two strips of land that will not be able to accommodate any play equipment, and ramadas. The introduction of the commercial building will greatly impact the residents that surround the park on Park Ave and Ash. Parking Parking is not addressed in the in the commercial portion (HVC) of the Design Guidelines. Where are the residential units with the HVC going to park and who will be paying for the expense of parking. (excluding Active area)	RC		C1
Veterans	l) Provide residents with a connection to the community's roots and history One way to accomplish this is to change Lacy Tract's neighbor park's name back to Poco Verde Park.	SD	Staff Comment: Park names are approved by Town Council. Staff will submit this suggestion to the Parks and Rec Department.	C1
Veterans	Environment p.56 What kind of climate control is being referred to?	D	Staff Response: Climate control can refer to trees, shade structures, etc. No specific climate control elements have been designated. However, if there are ever renovations to the park or a building added, this note ensures that climate control must be included.	C4
Veterans	If there is any ramada, or other building, there needs to be dedicated on site parking. Structures will invite crowds that will clog on street parking, preventing residents from the use of on street parking.	D	Staff Comment: Parking is required to be addressed during formal design review. If a builing impacted local parking, staff would consider implementing	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Veterans	Remove commercial building. Place it in Legacy Park Veterans Park is not accurate in that you are taking away a large portion of the park and putting in a commercial building.	RC	Stakeholder Discussion and RC Discussion: The image currently depicts a building on the vacant, dirt parcel adjacent to Veterans Park. The PFI zoning allows for buildings that are 55' by right. The intent of the design guidelines is to be inspirational and provide guidance for any future development. Staff feels that a 1-2 story building is most appropriate, rather than 55', should it ever be developed by public or private sector. As such, staff has included an inspirational image matching the preference. Should this building be kept in the image or removed?	C1
Veterans	What is the 1 or 2 story structure proposed at Veterans Park?	N/A	There is no specific proposal, but a vision of what we expect if it is developed in the future.	STAKEHOLDER MEETING
Veterans	The residents in the area want more for the park. They do not like that the triangle piece is just dirt and hope it will be developed in a way that will cater to the neighbors and residents in downtown. One person rarely sees residents in that park.	N/A		STAKEHOLDER MEETING
Veterans	Page 56 – Veterans – Environment – does climate control refer to shade? – I think it is mentioned in other sections too. Perhaps add to glossary.	A	Add climate control to glossary.	C12
Veterans	Please do not install public restrooms in the veterans park. Occasionally homeless people hang out there and I think that would encourage people to campout out longer. To keep/encourage the nearby LacyTract neighborhood to be upscale (in the near future :) I would recommend against a public restroom, to keep the feel of a small neighborhood park, and not a full parks and rec facility. Plus there are public restrooms right across the train tracks to the north at the park 'n ride where the farmers market is held every weekend. There are also plenty of businesses nearby that might also have restrooms for customers.	RC	Redevelopment Commission to provide direction on Veterans Park during study session on October 21.	C15
Veterans	I like all of the other plans with the veterans park, including how you show a patio on the building opening up to the park. Love it! That might create a nice picnic feel.	RC	Redevelopment Commission to provide direction on Veterans Park during study session on October 21.	C15
Commons	Page 61 – 2 – Who regulates and approves curbside street vendors – is this space only or temporary/permanent kiosks – who maintains? (referenced in Living Room as well.)	D	Staff Response: The curbside vendor space is meant to be temporary "pop up" vendor space. This could be in the form of mobile vendors or kiosks. Staff is working with the Developer on design. As this land will be privately owned, it will be the Owner's requirement to regulate and approve. This space is also listed along the Living Room Plaza. As this is public space, the Town would have to put a program in place for "temporarily leasing" mobile retail spaces.	C12

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Commons	The Commons is not for public use, it is privately owned and the town only can reserve it for events on a limited basis.	D	Staff Response: The commons will be a privately owned open space available to the public. There is no limitation on how frequently the Town can utilize it for events, rather that the Developer agrees that Gilbert shall have <u>first priority to reserve the commons</u> area for public events upon six (6) months’ prior written request.	C1
Commons	Strong connection to the Paseo the Paseo does not terminate on Juniper	D	Staff Response: Design has not been finalized for the 9.1 acre site. As it is currently drawn, once past the Commons, the Paseo will head west to Ash Street (much like the Paseo South Segment) and will follow to Juniper. To reiterate, this is still in the design phase and has not been finalized	C1
Commons	How about parking	D	Staff Response: Parking is addressed during design review. The development agreement for this site requires two parking structures.	C1
Commons	General – This is not public use property. Property owners can enclose and do what they want with this space after a limited number of years, per their agreement.	D	Staff Response: The commons will be a privately owned open space available to the public. Through the design review process, the site would have an approved site plan. Any modifications would require staff approval. Enclosing the open space would not be recommended by staff as it does not meet the intent of the 2018 Redevelopment Plan.	C4
Commons	Evening hours in this area should be quiet to accommodate sleep for surrounding residents.	D	Staff Response: Noise ordinances are not considered a design requirement. The Heritage District is an entertainment District and must abide by city noise ordinances.	C4
Commons	Environment p.60 Why another splash pad in the Heritage District? That will take away from the Water Tower splash area.	D	Staff Response: Additional splash pads were requested during the 2018 Redevelopment Plan public outreach process.	C4
Commons	Relationships p.60 3+ story buildings are not pedestrian friendly and completely block any views of water tower from this area, making it feel disconnected from our history.	D	Staff Response: The Land Development Code allows for 55' and has since 2005 when the Heritage District Overlay Zoning District was created.	C4
Commons	No maximum building heights make for a skyscraper city in this area. That is certainly not what our history is nor what it should be.	D	Staff Response: The Land Development Code allows for 55' and has since 2005 when the Heritage District Overlay Zoning District was created.	C4
Commons	p.60 First picture on left looks like a congested big city, not a historical district. This tunnel like feel is what it will be like unfortunately with 3+ story buildings surrounding it.	D	Staff Response: One key element to the commons listed under the environment design guideline is flexible seating. This image with the pink loungers is meant to demonstrate unique seating options.	C4
Commons	Benefits p.60 any lighting should be screened to prevent shining or reflecting into residential structures.	D	Staff Response: Lighting is not addressed in Design Guidelines. Lighting is however addressed in the Land Development Code and Municipal Code.	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Legacy	Why is this park so different than a Veterans Park? “Classic park design with a historic central feature.”	RC	Staff Response: Parks vary. This park has a classic urban park design with lawn space and a central fountain/feature. The design was based off of major metropolitan city parks. Unlike Veterans, it does not have many of the amenities found neighborhood park amenities like ramadas/BBQs and playground equipment. Redevelopment Commission: Have the two parks been properly addressed and amenitized?	C1
Legacy	The Redevelopment Plan, page 68, does not reflect a dog park. According to the Redevelopment Plan, It is a neighborhood park that all ages can enjoy. It includes Lawn, shade trees, Sports and athletic fields and courts, play areas, paths for walking, running, and bicycling. It did not mention a specially dog park, which limits the use.	RC	Staff Response: There have been many requests for areas for individuals to be able to off leash their dogs in the Heritage District including requests made during the 2018 Redevelopment Plan public outreach. As this park is closest to the multifamily zoning in which there is limited outdoor space, staff included a note for a small dog park. Staff recommends changing the name to "small fenced off leash dog area as opposed to park" Redevelopment Commission: Should there be a small off leash dog area or should it be removed?	C1
Legacy	The visuals of the park should be Veterans Parks since it is a neighborhood park that families in Lacy Tract have used for decades to celebrate birthdays, family events, Easter egg hunts, picnics and were their children, grandchildren, and great grandchildren have enjoyed for many years.	RC	Staff Response: Parks vary. This park has a classic urban park design with lawn space and a central fountain/feature. The design was based off of major metropolitan city parks. Unlike Veterans, it does not have many of the amenities found neighborhood park amenities like ramadas/BBQs and playground equipment. Redevelopment Commission: Have the two parks been properly addressed and amenitized?	C1
Legacy	General – Currently parking lot. Taking away highly needed parking and creating a entity that will require more parking, hurts surrounding businesses whose customers use those close parking spots.	D	Staff Response: Ensuring that there is sufficient parking whether it be provided by Town of Gilbert or private development, will be addressed in parking masterplan.	C4
Legacy	Experience and Environment p.62 & p.64 One says the experience is people sitting on blankets the other says there’s a dog park. Even if there is an enclosed area for the dog park, the smell of it would reach anyone sitting on the ground. Also, dogs tend to do their business, and mark territory, when they can smell other dogs, which means there’s a high amount of eliminating before ever getting to an enclosed area. Sitting on the ground near a dog elimination area is a health hazard. A dog park is for dogs, not people hanging out. It has to be one or the other, especially in such a small space. My opinion is it is too close to food sources and in too condensed of an area for a dog park.	RC	Staff Response: There have been many requests for areas for individuals to be able to off leash their dogs in the Heritage District including requests made during the 2018 Redevelopment Plan public outreach. As this park is closest to the multifamily zoning in which there is limited outdoor space, staff included a note for a small dog park. Staff recommends changing the name to "small fenced off leash dog area as opposed to park". Staff notes many restaurants allow dogs on their patios and it is not considered a health hazard. Redevelopment Commission: Should there be a small off leash dog area or should it be removed?	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Legacy	Environment p.64 Any lighting must be screened to prevent glare or reflecting into neighboring residents.	D	Staff Response: Lighting is not addressed in Design Guidelines. Lighting is however addressed in the Land Development Code and Municipal Code.	C4
legacy	Benefits p.64 Stating there is on street parking surrounding the area conflicts with guidelines under Active which says these streets are for short term parking for deliveries and passenger pickup and drop off.	D	Staff Reponse: On street parking will remain but as the area grows, staff will work with transportation planning and traffic engineering to intersperse flexible loading zones that allow for commercial deliveries, passenger loading and on street parking. Locations have yet to be determined.	C4
Legacy	Remove Legacy Park from the Guidelines. The park is addressed in the Redevelopment and Master Plan. The use of a dog park is not in the Redevelopment Plan. A single use should not dominate a park or open space. This is opening up the taxpayers of Gilbert to a potential liability.	D	Staff Response: Open spaces are included in the Design Guidelines to first, ensure that they are designed with the input captured from public outreach and to secondly ensure that any development projects adjacent to an open space seamlessly integrate.	C1
Legacy	Why is Legacy Park a dog park?	N/A	It is not a dog park, but a classic park design that may potentially include a small dog run or dog park area based on the input received through the Redevelopment Plan process.	STAKEHOLDER MEETING
Legacy	There was some disagreement about dog runs and it was noted that owners don't always clean up after the dogs. There will be further discussion on this item and nothing is set in stone.	RC	Staff Response: There have been many requests for areas for individuals to be able to off leash their dogs in the Heritage District including requests made during the 2018 Redevelopment Plan public outreach. As this park is closest to the multifamily zoning in which there is limited outdoor space, staff included a note for a small dog park. Staff recommends changing the name to "small fenced off leash dog area as opposed to park" Redevelopment Commission: Should there be a small off leash dog area or should it be removed?	STAKEHOLDER MEETING
Living Room	Heat Island	D	Staff Response: Staff realizes that this includes an expansive hardscape meant to act as a flexible event space for the farmers markets, concerts, art festivals, etc. Climate control and heat mitigation will be a critical aspect when this open space is designed.	C1
Living Room	Why only street trees? No grass	D	Staff Response: Staff realizes that this includes an expansive hardscape meant to act as a flexible event space for the farmers markets, concerts, art festivals, etc. Climate control and heat mitigation will be a critical aspect when this open space is designed.	C1

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Living Room	LIVING ROOM – PAGE 66 WHAT ARE THE ADJACENT STREETS TO THIS AREA LABELED “LIVING ROOM”? THE PHOTOS ON PAGE 67 DON’T LOOK LIKE THIS AREA AS IT EXISTS TODAY. WHY NOT SHOW HALE THEATER, GILBERT FARMERS MARKET, SPLASH PAD, IN RELATION TO THIS AREA? I HAVE THE SAME THOUGHTS ABOUT THE DRAWING ON PAGE 69, NOT REALLY RELEVANT TO WHAT EXISTS NOW. IT DOES NOT EVEN LOOK LIKE THIS AREA.	D	Staff Response: Hale Theatre is pictured east of the living room plaza on page 69. The Collab building is pictured just north of Hale. Heritage Marketplace, the parking structure and the University Building are also all included on page 69. The additional buildings have been rendered to communicate design expectations and in the case of the adjacency to open spaces, is meant to promote development that is compatible with and complements the surrounding environment.	C6
Living Room	Environment and Benefits p.68 States flush curbs but curbside pickups. Not having a curb that will stop vehicles makes it dangerous for pulling over to pick people up.	D	Staff Response: Curbless environments prevent tripping hazards. Hearne Way is a current example of a festival street that includes a rideshare drop off area in a curbless environment.	C4
Living Room	Relationships p.68 3-4 story buildings surrounding the area will make it feel like it’s in a box. Also, can block views of the water tower from the area which is supposed to be a connected feel.	D	Staff Response: The Land Development Code allows for 55' and has since 2005 when the Heritage District Overlay Zoning District was created.	C4
Living Room	Page 66 – Living Room – intro – separate “Living room”	A	Separated into "living room"	C12
Living Room	It looks like one big heat island. A parking lot for people. I suggest some lawn areas and trees surrounding the hardscape.	D	Staff Response: Staff realizes that this includes an expansive hardscape meant to act as a flexible event space for the farmers markets, concerts, art festivals, etc. Climate control and heat mitigation will be a critical aspect when this open space is designed. NOTE: There are trees surrounding the hardscape as pictured on page 69.	C1
Western Canal	Experience p.70 Any lighting must be shielded from shining or reflecting into nearby residences.	D	Staff Response: Lighting is not addressed in Design Guidelines. Lighting is however addressed in the Land Development Code and Municipal Code.	C4
Western Canal	Relationships p.72 How healthy or safe is it to have any humans above two stories along the power lines? Should be a maximum of two story buildings within a distance that won’t allow for balconies above that height.	D	Staff Response: As noted in relationships, limited outdoor balconies and decks above two stories.	C4
Western Canal	Page 71- Western Canal – reference to bicyclists as well?	A	added "for bicyclists and pedestrians"	C12
Western Canal	Page 73 – Who wraps power poles – SRP? Think that is a big safety issue that would need their approval.	D	SRP has a program that allows for the wrapping of the Power Poles. Mesa has done this on their multiuse path and has included Mesa Historical Facts. The program would be done in partnership with SRP.	C12
Western Canal	Shaded picnic areas or resting spots for runners, bikes, etc.	A	Added "picnic areas or resting spots for runners, bikes, etc." to "Shaded rest stops"	C12
Dwell	Page 77 – Dwell Overview – typo – “may be”	A	separated words "may" and "be"	C12
Lacy	Low fences and walls outside of the ROW may be used to help define the yard What does ROW stand for?	A	Spell out "Right of Way"	C1

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Lacy	Fences/walls constructed of masonry, vinyl, wrought iron, or in other decorative materials as approved by the RDC REMOVE	D	Add "wood". Clarify "fences/walls constructed of masonry, vinyl, wood, or wrought iron. Other decorative materials may be approved by the RC."	C1
Lacy	Street trees within the tree lawn every 20' to 30' Remove it competes with other existing tree. Let the property owner dictate my yard.	D	Staff Response: This was a past CIP project and the street trees in the public right of way are existing. Noting this in the guidelines ensures they will remain in place.	C1
Lacy	A new secondary structure should respect the mass and scale of the primary structure. WHY, taking away my property rights	D	Staff Response: This is a current standard in the Land Development Code. Note this is not a change from the 2010 Design Guidelines.	C1
Lacy	Alley access should be for accessory structures or garages OR CARPORTS Carport should remain	A	Add "carports"	C1
Lacy	Window designs as appropriate to the architectural style, divide light encouraged What is divided light?	A	Add "divided light" to glossary	C1
Lacy	A secondary structure should relate to the general architectural character of the primary building in mass, scale, form and material. WHY, taking away from my property rights (size of structure) I agree with character with some flexibility.	D	Staff Response: This is a current standard in the Land Development Code. Note this is not a change from the 2010 Design Guidelines.	C1
Lacy	New residential development or redevelopment projects should maintain and enhance the Heritage District's system of alleys. What does that mean	D	Staff Response: It means that alleyways are public right of way (ROW) and private property must not impede the ROW.	C1
Lacy	Undergrounding of utilities REMOVE The town is taking away my property rights by forcing me to place my utilities underground.	D	Staff Response: This is a Town requirement for all new development	C1
Lacy	Is there a chance that development on this corner will be held to the Lacy Tract standards in the future because it is shown as such on the map?	A	Remove HVC on corner from Lacy Tract Map.	C2
Lacy	The description of the Lacy Tract does not call out or acknowledge the commercial lots that face Gilbert Rd. between W. Park Ave south to W. Washington Ave.	A	Remove bungalow commerical from Lacy Tract map.	C8
Lacy	Environment p.80 What is considered a "low" fence or wall. Most existing front fences and walls are 4'	D	Staff Response: The Land Development Code states that 3' maximum fencing is allowed in front setback. Homeowners would not be required to change unless they are building anew or making major modifications, in which, they would have to meet the current Land Development Code standards.	C4
Lacy	All existing front yard fences and walls are in ROW. They were put up to existing sidewalks to make it most cohesive. Front yards will be chopped up moving them back.	D	Staff Response: The Design Guidelines are required to be met for new or major residential modifications. Town is not expecting homeowners to move current fencing but should they build anew or make major modifications to their home, their fence will need to be within their property line and not the right of way.	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE				
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SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Lacy	Many front yard fences and walls have been in place for decades. Who will pay to have them moved? Residents now take care of all property inside sidewalk, if they can no longer develop that property, who will maintain it to be cohesive with yards?	D	Staff Response: The Design Guidelines are required to be met for new or major residential modifications. Town is not expecting homeowners to move current fencing but should they build anew or make major modifications to their home, their fence will need to be within their property line and not the right of way.	C4
Lacy	Vinyl is not a historic material for fencing and should not be allowed unless it looks like wood or masonry. Wood is a typical historical fencing material and should be allowed.	A	Add "wood" Staff would like to note that wood had been excluded as it is not a durable material in the heat/sun and requires extensive maintenance.	C4
Lacy	As approved by RDC” needs to be eliminated. State what the guidelines are and everyone needs to follow them equally. Putting in all the “as approved by RDC” leads to discrimination and favoritism.	D	Staff Response: The Redevelopment Commission is the design review body for the Heritage District.	C4
Lacy	Need to add that streetlights are historical in character and provide low, ground directed, lighting. No lighting shall reflect or project into adjoining properties.	D	Staff Response: Lighting is not addressed in Design Guidelines. Lighting is however addressed in the Land Development Code and Municipal Code.	C4
Lacy	Relationships p.80 Existing homes have flush and projecting garages. These are small lots so requiring 8’ setbacks of garages is significantly reducing the square footage of living space. Making garage doors decorative to match the character of the house for any that aren’t set back, would be better.	A	Remove "8' setback"	C4
Lacy	There are several tiny lots that should be able to be combined. Better to state a maximum lot size and not that lots can’t be combined.	RC	Redevelopment Commission: Staff would like direction on combining lots and splitting lots within Lacy Tract and how this should be addressed in the Design Guidelines.	C4
Lacy	There are many low income homes in this area. Who is going to pay to put utilities underground since all of them are currently overhead? It would be a hardship for many of these families even to convert there meters to underground.	D	Staff Response: Underground utilities are a Town requirement for all new development	C4
Lacy	These are small lots. Requiring mechanical to be ground mounted is taking up significant building space. Existing mechanical is mainly roof mounted and should be allowed. Possibly require screening from street.	D	Staff Response: This is a Town requirement as set by the Land Development Code.	C4
Lacy	Undergrounding utilities. This should be removed since it will place an undue hardship on the property owners and will make, in some cases, their residence unable to be tied into the electrical panel if their panel is not up to code. Hence, there property will lose value. A governmental grant will not include such hookups and the possibly an electrical panel upgrade. Not all homeowners will, if available, be eligible any CGBD funds. Again, the underground services must not relay on a governmental grant since property owners will not quality for or even wish to receive any governmental monies.	D	Staff Response: Underground utilities are a Town requirement for all new development	C1

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

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<u>SECTION</u>	<u>COMMENT</u>	<u>RESPONSE</u>	<u>CLARIFICATION TO RESPONSE</u>	<u>SUBMITTER</u>
Lacy	Do the design guidelines incorporate the Town Council approved Ordinance No. 2281 (Z08-28) as it relates to Section 4.204 Number of Parking Spaces Required to exempt properties within the Heritage District from providing two (2) enclosed parking spaces per unit? The effect of this amendment will be the adoption of commercial and residential design guidelines for the Gilbert Heritage District and to relieve properties within the Heritage District and to relieve properties within the Heritage District from the enclosed parking space requirement.	A	Added carport to Lacy. Staff Response: In regards to allowing for unclosed spaces, it was never intended to leave carport out of Lacy Tract.	C1
Lacy	Wood picket fencing currently exists and must be allowed	A	"Wood" added to materials	C1
Lacy	The property owners have been able to maintain their original zoning of R-3. This was taken away from the property owners in Lacy Tract. Limited guidelines, therefore, giving the property owners more flexibility and therefore increasing their land value. Lacy Tract is not afforded the same rights and in fact their property was zoned R-3.	D	Staff Response: R-3 Zoning has been completely removed from the LDC.	C1
Lacy	Who is paying for underground utilities in the residential area?		The Town is researching grants that would help underground utilities in the residential areas in the Local Alleyways. No determination has been made on how that will be funded. It is important to note that undergrounding utilities is required as per the land development code on all new development.	STAKEHOLDER MEETING
Lacy	Page 80 – Environment – wondering if a link and/or photo defining each of the architectural vernacular desired would be helpful (this is referenced in each residential section.)	SD	Staff Response: Staff to discuss. Thank you for the idea.	C12
Lacy	Page 80 – Environment – second column, second bullet point – may be missing “to” ...style, ___ divide light encouraged...	A	Changed to "divided light encouraged". Divided light added to glossary.	C12
Lacy	I hope planners use these design guidelines. I believe the past design guidelines also encouraged garages to be setback and to design the homes in a similar historic look to what is currently in the area. However, the last two homes to be demolished in Lacy Tract and replaced with new cookie cutter homes have garages in the front, and do not fit in at all. No point in having design guidelines, if they aren't followed.	RC	Redevelopment Commission to provide direction on architectural character and "shall" versus "encouraged" in single family neighborhoods on October 21.	C15
Greenhaw Place	attached garages or carports. Why are carports allowed here and not in Lacy Tract?	D	Staff Response: "carport" was added in previous section for Lacy	C1
Greenhaw Place	Garages and car ports should be flush with the front elevation or recessed (spelling) Carports are allowed	A	Removed "e" from "care"	C1

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

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SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Greenhaw Place	Overall p.84 Similar concerns as in Lacy Tract with walls, ROW, fence materials, too many “as approved by RDC”, combining lots, underground utilities, and mechanical equipment.	RC	Staff Response: These are previously addressed items and are noted for RC Discussion.	C4
Greenhaw Place	Environment p.84 Two story homes do not fit the character of the ranch homes. Two story homes would be more appropriate in Lacy Tract, where there is a variety of shapes and sizes of homes, than in this area, which is predominantly ranch homes.	D	Staff Comment: Understood that it may not fit the architectural character but it is currently allowed per the Land Development Code and as such, is noted in the Design Guidelines.	C4
Mixed	NEED TO ADD UNDERGROUND UTILITIES	A	Added "underground utilities" as it is required in the Land Development Code	C1
Mixed	What happens when someone wants to remodel a house or build a house in this area?	SD	Staff Comment: A new single family home will not be permitted in this area as it is zoned for multifamily (density allowed would be 8-14 Dwelling Units/acre per the Land Development Codes). Staff to discuss remodel.	C1
Mixed	Why don’t they have any building like that other residential areas?	D	Staff Response: This area is zoned for multifamily (8-14 Dwelling Units/acre per the Land Development Code) and mixed use.	C1
Mixed	Access to alleys and parking garages the residential areas Lacy Tract must provide parking, however, who will pay for their parking. Parking must be within the owner’s property. Tax payers must not pay for their parking. (street parking is different)	A	Remove "parking garages" as residential is required to self park	C1
Mixed	2-4 Story - Does this go against the current property rights? Should probably say "encouraged"	A	Added "encouraged"	C2
Mixed	MIXED – PAGE 86 THERE ARE MANY BUILDINGS RECENTLY RESTORED BUT NONE OF THEM RESEMBLE THE PHOTOS ON THE INSPIRATION PAGES 87-88. THIS ARCHITECTURE IS NOT PRESENT OR PROPOSED IN THE “MIXED” AREA. THE PHOTOS LOOK LIKE EAST COAST DEVELOPMENTS. SAME COMMENTS APPLY TO THE “COMPLEX” SECTION OF THE DRAFT.	D	Staff Response: This area is zoned for multifamily (8-14 Dwelling Units/acre per the Land Development Code) and mixed use. Newly restored single family homes to not represent the current zoning and therefore are not shown in this section.	C6
Mixed	Again, this is redundant with Active section	D	Staff Response: Active section refers to how a development integrates with the street while Mixed identifies the design guideline requirements for the residential development.	C4
Mixed	p.86 There are a significant number of single family homes in this area that need to be considered.	D	Staff Response: This area is zoned for multifamily (8-14 Dwelling Units/acre per the Land Development Code) and mixed use. Newly restored single family homes to not represent the current zoning and therefore are not shown in this section.	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

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SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Mixed	Inspiration and Environment p.87 and p.88 Pictures show wood and stucco siding, which according to the proposed guidelines, are not allowed. These siding materials should be allowed in this primarily residential area. Brick is expensive for residential structures.	A	Add "other materials may be approved by RC"	C4
Mixed	Relationships p.88 Currently primarily one story. Three and four story structures overshadow one story residential and is not cohesive. Notice in pictures how everything is the same height to make it look cohesive. This is especially important with minimal setbacks.	D	Staff Response: This area is zoned for multifamily (8-14 Dwelling Units/acre per the Land Development Code) and mixed use. Newly restored single family homes to not represent the current zoning and therefore are not shown in this section.	C4
Mixed	What is 50% exposure on residential? That much glass on street facing façade won't allow for windows in rest of house and still meet energy codes.	A & D	Accept: Transparency to be defined in the glossary. Staff Response: Transparency is the inclusion of patios, porches and windows and a combination thereof. As active is zoned for multifamily or Village Center, staff is defining the transparency for the mixed use environment. This would not apply to an existing single family home.	C4
Mixed	Benefits p.88 Why is mechanical required to be roof mounted. In single family homes that is normally not what is done in new construction and can be difficult to screen.	D	Staff Response: Multifamily mechanical equipment will be roof mounted and will be hidden with screening and parapet. Single family is not part of this zoning.	C4
Mixed	All existing homes have garages and parking off street. Requiring these to be off the alley is not consistent with existing character. Are all single family homes going to be eliminated in this area?	D	Staff Response: This area is zoned for multifamily (8-14 Dwelling Units/acre per the Land Development Code) and as such, staff has included guidelines and imagery aligned with its zoning.	C4
Mixed	No section of street provided. Are 6' sidewalks encroaching on private property?	D	Staff Response: The Active street section is included in Blend.	C4
Mixed	Page 86 – Mixed – this area is probably the most diverse in the district with the varying types of residential, commercial ... hard to describe for sure – no real comments just thought this section would get a lot of scrutiny from the public.	N/A		C12
Mixed	I don't agree with the "brownstone" home examples in the "MIXED" residential area. That doesn't fit in Arizona, it's not NY. People move to Arizona because of the open space.	A/D	Staff Response: The area is zoned for multifamily (density allowed would be 8-14 Dwelling Units/acre per the Land Development Code) . Staff was looking for examples of multifamily architecture that varied both vertically and horizontally in a way that would create a "character area". Staff is open to other precedent imagery to support but want to avoid modern, contemporary architecture and garden style apartments.	C15
Complex	Bad example, does not fit with the surroundings	D	Staff Response: All examples currently exist	C1
Complex	Experience p.90 Says no gated community yet there are. Are they going to be required to remove the gates to make it an open environment?	D	Staff Response: No. This applies to new development only.	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

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SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Complex	Environment p.92 Needs new guidelines stated. Referring to prior approvals does not bring these areas into the new proposal. At the least, state what the prior approvals are that need to be followed. How is someone to find what past guidelines were if they want to create something new in these locations?	D	Staff Response: These are complexes that were approved as one single project. As such, the approved site plans and designs are on file with the clerks office.	C4
Complex	Which Master Plan are you referencing? Why are these developments retaining their property rights? All property owners in the Heritage District should retain their property rights.	A	Strike "master plan" update to "2018 Redevelopment Plan"	C1
Complex	The intent for Complex neighborhoods is not to be gated, although District Lofts is gated.	D	Staff Response: That is correct. The intent is that future Complex developments would not be gated in multi-family zoning. In the LDC Refresh, in both the Gateway Village Center and the Heritage Village Center, fencing or gating will be restricted, other than arm gates to control access. This will apply to multi-family, hotels, businesses, storage of outdoor goods, and large storage yards.	C1
Create	Tinted or reflective glass in brushed aluminum frames should be avoided Should not be allowed! It is not welcoming	D	Staff Response: It is not historically consistent but due to environmental reasons, it has been allowed.	C1
Create	Mexican Bird of Paradise REMOVE poison Tipu Lots of litter Oleander. REMOVE	RC	Redevelopment Commission: Should a plant palette be removed entirely from the create section.	C1
Create	Rooftop signs are not in the Design Guidelines. Why not	RC	Redevelopment Commission: The Land Development Code covers signage. Staff recommends removal from design guidelines. Should they remain or be removed?	C1
Create	The land code refers to the Design Guidelines	RC	Redevelopment Commission: The Land Development Code covers signage. Staff recommends removal from design guidelines. Should they remain or be removed?	C1
Create	Awning signs should be placed over windows, doors and pedestrian walkways. How far can they project if they are at a zero lot line?	RC	Staff is recommending that all signage be in the Land Development Code and not in the design guidelines.	C1
Create	P 104 Terms What is the definition of an Awning Sign	A	Add term to glossary IF RC wants signage to remain.	C1
Create	where paint color - architecture, not architectural	A	Updated to "architecture"	C2
Create	Great work on the Design guidelines - the document is organized and easy to read. Art Section: Page 96 - It is briefly mentioned in the video that SRP will be consulted to decorate the power poles and other structures. If so, will artists commissioned for these designs be picked by SRP or the Town? Where are the decency requirements of the Municipal Code located online? It seems like a link(s) could be provided within the PDF for specific reference if anyone wanted to dig further. Thanks!	D	Staff Response: Staff will be working on updating the Heritage District website to populate with art and future opportunities.	C9

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Create	ART – PAGE 96 “PUBLIC ART” - SHOW SOME ACTUAL EXAMPLES IN THE HD. WHAT HAS BEEN APPROVED IN THE PAST. I THINK IT IS OVERREACHING TO REQUIRE A DEVELOPER TO INCORPORATE PUBLIC ART IN THEIR PROJECT; SAME THOUGHTS ABOUT 3 DIMENSIONAL DISPLAYS ON 1ST FLOOR WINDOWS.	A	Updated so that it says "highly encouraged with new commercial development" Staff Note: Town does not approve public art.	C6
Create	Page 96 – Art – I have concerns with it being perceived every project is required to incorporate art – feels like a mandate – perhaps change to “Incorporating some form of public art is encouraged”	A	Updated so that it says "highly encouraged with new commercial development"	C12
Create	SIGNAGE – SHOW EXAMPLES OF WHAT HAS BEEN APPROVED IN THE HD IN THE PAST. THERE IS REFERENCE TO “HISTORICAL” TYPE SIGNS. WHAT IS THAT? SHOW EXAMPLE. I DON’T SEE SIGNAGE IN THE HD THAT I WOULD CLASSIFY AS HISTORICAL. DOES SIGN SECTION OF THE DRAFT AGREE WITH CURRENT SIGN CODE FOR THE TOWN?	RC	Signage is addressed in the Land Development Code and as such, staff is recommending that signage be removed. RC to make determination	C6
Create	General – This section needs to be eliminated and integrated into individual areas. Putting it as an overall creates confusion and conflicts with individual sections.	D	Staff Response: The organization of this document matches best practices as studied by staff.	C4
Create	Art p.96 Says “Each project should incorporate some form of public art.” So single family homes need public art?	A	Updated to note that this is non residential	C4
Create	Page 96 – Arcades and Windows – perhaps show a photo for three-dimensional displays	A	Staff Response: Good idea. There have been multiple requests for inspirational images in this section. Staff to add.	C12
Create	Windows p.96 Restaurants needing display windows is not logical nor an appropriate use of space. Restaurants are to have an openness to the street, that should be enough to “display” what the business is.	D	Staff Response: Having an open roll up window is often requested by restaurants - this is one form of "display window"	C4
Create	Plants pp.98-101 Why are plants restricted to these? There are many other drought resistant plants that could be appropriate. People should have a right to plant what fits the style of their structure.	RC	Redevelopment Commission: Should a plant palette be removed entirely from the create section.	C4
Create	Street Furniture p.102 The Town should not be able to dictate what vendors must be used. This is a conflict of interest. Any vendor, or private entity, should be able to be used as long as it fits the quality and aesthetics required.	D	Staff Response: This is for street furniture utilized in the public Right of Way. For example, if a developer builds to their property line, they are required to ensure the right of way matches the design guidelines. Heritage District street furniture should match. Note - this does not apply to private property.	C4
Create	Signs p.103 No sign, nor other lighting, should shine or reflect into a residential yard or structure except that which is of that structure or yard.	D	Staff Response: Lighting is not addressed in Design Guidelines. Lighting is however addressed in the Land Development Code and Municipal Code.	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE				
Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Create	Tinted or reflective glass in brushed aluminum frames should be avoided. I’m not sure why they were ever allowed. Can this be used in the residential mixed units and the single-family residents? Is this allowed in other areas of Gilbert? Why not take the window out and replace it with block? This would provide that same uninviting look.	D	Staff Response: It is not historically consistent but due to environmental reasons, it has been allowed.	C1
Create	Page 97- Heritage Colors and Materials – second column, first bullet – remove “be” ...should respect the...	A	Removed "be"	C12
Create	Page 97. Heritage Colors and Materials Where is this referenced in the guidelines? It looks like your trying to cover the design aspect of the guidelines. This should be for the entire district. The residential areas need the same flexibility as the other property owners in the entire district. Hence, increasing their property values though the use of design guidelines.	D	Staff Response: The colors and materials are listed for Non-Residential and Multifamily. Single family residential have more flexibility.	C1
Create	Page 98 – Heritage District Commercial... - perhaps have a link to the photos	RC	Staff Comment: Good idea if plant palette is kept in this section. RC: Should plant palette remain?	C12
Create	Include rooftop signs Do not allow signs to block any portion of the sidewalks. Signs that are located on the sidewalk block and force people out into the roadway. If the property owner wishes to place signs on their property, I would suggest that they not be allowed to be built at the zero-lot line. The tax payers of Gilbert to not want to assume the liability of the safety of the pedestrians on town owned property.	RC	Signage is addressed in the Land Development Code and as such, staff is recommending that signage be removed. RC to make determination	C1
Create	Mural. A hand-painted work of original visual art that is painted directly on the exterior surface of a building, structure, wall or surface with the express permission of the property owner; and is non-commercial in that it does not promote a particular business, service or product. Question: If I allow an artist to paint an extremely large mural on my property with “Black Lives Matter” or “Blue Lives Matter” or “All Lives Matter” would that be okay? Would I be allowed to have an artist paint an extremely large mural on my property that may look like art, may become an eye sore, or be offensive to one person. Who will decide if my mural is acceptable? Who will decide if my art is offensive?	D	Staff Response: Town does not approve art. Decency codes for art apply through the Municipal Code.	C1

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
Create	Request for some guidelines related to signage on residential property for home-based businesses within the Heritage District.	RC	Redevelopment Commission: Should a plant palette be removed entirely from the create section.	STAKEHOLDER MEETING
Create - Terms	Page 107 – Patio. Covered – fix column spacing	A	Fixed Column Spacing	C12
Create - Terms	Page 108- Screening – typo – “an”...area or an unattractive...	A	Updated to "an"	C12
Create - Terms	Page 108 – Stepback. Not sure if it should say “...applied to upper-stories...” or “...applied to an upper-story...”	A	Updated to "an upper story"	C12
General	I did not find the word small-town feel in the guidelines	D	Staff Response: Small town feel is not a descriptor. Staff felt this was too vague. Tried to incorporate words that more clearly articulated historical aspects. In reviewing the public comments from the Redevelopment Plan, what small town means to one person seems to mean something different to someone else.	C1
General	70% transparency --- I am not sure if this is in the Design Guidelines.	D	Staff Response: Transparency is listed in the design guidelines and is regulated by the Land Development Code.	C1
General	Stakeholder noted the Neighborhood Revitalization Committee.	D	Staff Response: This committee has not yet been formed and is a later objective along with the wayfinding, branding...etc.	C1
General	This document only refers to the Redevelopment Plan as a District boundary and does not refer to it as a guiding document. As though the guidelines replace the redevelopment document, thereby circumventing the Redevelopment plan.	A	Adding a flow chart of the general plan, LDC, redevelopment plan and design guidelines	C1
General	The standards and guidelines set forth in this manual apply to all commercial, residential and public properties within the Gilbert Heritage District. This is not a manual it is a guideline.	N/A	The Design Guidelines will be an ordinance that is attached to the Land Development Code, Chapter 2. An ordinance makes something law and the only way to change it is to go through Town Council. There is some subjectivity written into the Design Guidelines because we want creativity. There is no way that the Design Guidelines or even the Code can anticipate every possible scenario. Typically the term "shall" refers to a must and "should" refers to something that should be addressed in some creative way. If something is "preferred", by law we cannot require it.	C1
General	These guidelines shall be used by developers and architects when designing projects, referenced by the Redevelopment Commission and Planning Commission when evaluating projects and by the Town Council when hearing appeals. Why is the Redevelopment Plan no longer referenced in guidelines? The guidelines are being used to circumvent the Redevelopment Plan?	A	Add flow chart with general plan, redevelopment plan, etc to demonstrate how the documents join and relate	C1
General	There should not be any walk-up business that places to public at risk. For example, Topo and Dutch Bros	D	Staff Response: Walk-Up windows are frequently requested and will be reviewed by staff for safety purposes during design review.	C1

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
General	During the presentation to the RDC, some commissioners expressed support for additional height within the district. The comments were vague and left me unsure as to whether this might be construed as anywhere within the HD or the outer perimeter only. What exactly is being proposed? Is something being proposed?	D	Staff Response: The height will remain 55' by right for Village Center Zoning. No proposed changes are being requested as part of the Design Guidelines.	C3
General	Nowhere do I see a reference to the guidelines being codified. This seems like a significant feature of the new document. While I support this, it confuses me whether the guidelines become more important than the Redevelopment Plan. How are these documents related? Will the language of “shall” and “required” stand or be altered? I still see this language in the packet: "The American Planning Association describes design guidelines as inspirational and educational recommendations to open possibilities and challenge people to make better buildings." I’m confused.	A	Add flow chart with general plan, redevelopment plan, etc to demonstrate how the documents join and relate. The Design Guidelines will be an ordinance that is attached to the Land Development Code, Chapter 2. An ordinance makes something law and the only way to change it is to go through Town Council. There is some subjectivity written into the Design Guidelines because we want creativity. There is no way that the Design Guidelines or even the Code can anticipate every possible scenario. Typically the term "shall" refers to a must and "should" refers to something that should be addressed in some creative way. If something is "preferred", by law we cannot require it.	C3
General	A determination will be made subsequent to Redevelopment Commission, Planning Commission, and Council review of the document as to whether this returns for public review, right? Since this is not known until after the fact, it seems rather important to get our (the public’s) comments in during public meetings rather than waiting to learn if another public process will occur. I’m just wondering if I have this right.	D	Staff Response: The Design Guidelines were released to the public for comment from August 12 - September 18. Through this process, staff will respond to all comments and bring any public comments that require reconciliation to the Stakeholder Committee and Redevelopment Commission for further vetting.	C3
General	What is meant by axonometric, exactly?	D	Staff Response: An axonometric is a three-dimensional projection - in this case of buildings and the environment in the Heritage District.	C3
General	Mention waiting areas for restaurants outside should be appealing and unique. Also, landscaping should be lit at restaurants.	A	Add "Provide Outdoor seating and climate control for patron waiting areas"	C5
General	Downtown is too crowded with restaurants. Please bring more retail or cultural venues	D	Staff Comment: Thank you for your feedback. Staff is continually working with property owners and brokers to bring a greater mix of options to the Heritage District.	C13
General	Wow! That's quite a detailed plan. Heritage needs more retail rather than more restaurants on Gilbert Road. How you do that now is a question mark as it's unclear to what extent people will come back to communal venues post COVID-19. I very much support the effort around art. Minimize the number of cars; in fact, could a stretch on Gilbert Rd be completely car-free? Also, how do you maximize green space to minimize summer heat off concrete? Thank you.	A	Added notes for additional climate control options in open space section. Staff Comment: Thank you so much for your feedback. Staff is continually working with property owners and brokers to bring a greater mix of options to the Heritage District. Additionally, staff is having ongoing conversations regarding opportunities for extension of premise, more pedestrian space, etc due to COVID.	C10

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

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<u>SECTION</u>	<u>COMMENT</u>	<u>RESPONSE</u>	<u>CLARIFICATION TO RESPONSE</u>	<u>SUBMITTER</u>
General	Overall, the plan looks great. However, my concern is keeping the area upscale and therefore continuing to create value in the surrounding areas. Things like giant, fire eyed hamsters on roofs of businesses completely detract from this and totally cheapen the area. Please keep the area beautiful and please do not approve anything of this nature moving forward. Although wonderful, the Heritage District definitely presents a slippery slope scenario. Let's be careful and think about the future.	D	Staff Comment: Thank you for your feedback. We hope that these Design Guidelines, which align with the 2018 Redevelopment Plan, will ensure the highest quality architecture is developed.	C14
General	THE DRAFT USES DRAWINGS AND PHOTOS THAT ARE MOSTLY NOT REAL DEPICTIONS OR PHOTOS OF THE EXISTING DEVELOPMENTS, MOST APPROVED IN THE LAST 10 YEARS, IN THE HD. WHY NOT USE REAL EXHIBITS & PHOTOS TO SHOW WHAT IS REALLY THERE? MUCH OF THE DEVELOPMENT HAS ALREADY TAKEN PLACE. THUS, ONE CAN SEE REAL IDEAS AND SEE WHAT REALLY GETS APPROVED. THE CONCEPTUAL DRAWINGS AND PHOTOS DON'T HELP A DEVELOPER TO UNDERSTAND WHAT DESIGNS ARE DESIRED IN THE HD.	D	Staff Response: The intention of the design guideline images were to provide axonometrics and inspirational imagery representational of the future growth without playing favorites of current buildings (i.e. selecting current buildings in the Heritage District that staff felt were best examples).	C6
General	CURRENT HD DESIGN GUIDELINES EMPHASIZED PROMOTING REINVESTMENT IN THE DOWNTOWN. THERE IS NO MENTION OF REINVESTMENT IN THE DRAFT VERSION.	D	Staff Resposne: Reinvestment was addressed in the 2018 Redevelopment Plan. The Design Guidelines are being updated to ensure continuity for the 10 year growth. The Design Guidelines are meant to address aesthetics.	C6
General	MUCH NEW DEVELOPMENT HAS OCCURRED IN THE HD SINCE THE LAST VERSION OF THE HD DESIGN GUIDELINES ABOUT 10 YEARS AGO. AS OF TODAY, THERE ARE MANY EXAMPLES OF APPROVED DESIGNS, ART, STREET SCAPE, SIGNAGE, ETC. IT WOULD BE HELPFUL TO AN ARCHITECT, DEVELOPER, ETC. TO SEE PHOTOS AND OTHER EXHIBITS THAT SHOW WHAT THE TOWN, RDC, HAS APPROVED IN THE PAST. THE FLOW OF THE DRAFT IS NOT COHESIVE. IT SEEMS TO BE A SERIES OF CLASSIFICATIONS, SOME OF WHICH, APPEAR TO BE DICTATING CERTAIN LAND USES. SOME AREAS OF THIS DRAFT APPEAR TO BE AN OVERREACH AND GO BEYOND DESIGN GUIDELINES. PAGE 6 OF THE DRAFT, NO MENTION OF THE HVC ZONING.	D	Staff Response: The intention of the design guideline images were to provide axonometrics and inspirational imagery representational of the future growth without playing favorites of current buildings (i.e. selecting current buildings in the Heritage District that staff felt were best examples). Land uses are classified in the Land Development Code.	C6

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
General	<p>As A PROPERTY OWNER IN THE HD, I AM PARTICULARLY CONCERNED ABOUT THE MEANING AND APPLICATION OF “FESTIVAL” TO THE FUTURE DEVELOPMENT OF OUR PROPERTY. THE TOP OF PAGE 26 STATES: “LOW SPEED STREET WITH WIDE SIDEWALKS AND A CURB LESS ENVIRONMENT THAT PROMOTES RETAIL SHOPPING, ACTIVITY AND EVENTS”. I DON’T UNDERSTAND HOW THIS WOULD BE APPLIED TO THE DEVELOPMENT OF OUR PROPERTY. SUPPOSE WE WANT TO BUILD APARTMENTS, OFFICE OR CONDOS – NEITHER OF WHICH OBVIOUSLY HAVE ANYTHING TO DO WITH SHOPPING, RETAIL.</p> <p>THIS SECTION OF THE DRAFT APPEARS TO BE DICTATING WHAT CAN BE CONSTRUCTED ON OUR LAND. PAGE 28, I OBJECT TO REQUIRING “SIGNIFICANT BALCONIES, DECKS AND CATWALKS BEING REQUIRED”. THIS WILL RESULT IN A LOSS OF RENTABLE FLOOR AREA AND WILL AFFECT THE FEASIBILITY OF DEVELOPMENTS. IT ALSO CREATES MORE LIABILITY FOR THE LANDLORD WHICH TRANSLATES INTO HIGHER INSURANCE COSTS. PAGE 28 ALSO STATES 2 STORY AND GREATER BUILDING MASSING REQUIRED. ZONING ALLOWS UP TO 4 STORIES. SINCE WHEN DO DESIGN GUIDELINES DICTATE THE NUMBER OF STORIES REQUIRED ON A SITE IN THE HD? THIS IS ANOTHER EXAMPLE OF OVERREACH. I DON’T SEE HOW THIS SECTION OF THE DRAFT IS IN SYNC WITH THE HVC ZONING. MAYBE I AM READING THIS DRAFT INCORRECTLY BUT TO ME AS IT IS CURRENTLY PRESENTED APPEARS TO BE AFFECTING LAND USE AND THE RIGHTS ALLOWED UNDER CURRENT HVC ZONING.</p>	D	<p>Staff Response: Your property is located in village center zoning which requires active first floor retail while the levels above may be housing, office, etc. RC: Should staff modify balconies, decks and catwalks required?</p>	C6
General	<p>It seems the Heritage District should be just that, a cohesive, historical, area. This proposal has eighteen different guidelines for an area about ¼ mile square. Breaking it up into so many parts with such a huge variety of different design themes, doesn’t create a cohesive district. Diagram on p.13 shows how it looks like a patchwork quilt, not an area with a strong sense of place. Different rules for adjoining properties makes development unnatural and confusing. These guidelines are breaking up, what should be a cohesive Heritage District, into too many parts. Entire towns don’t have that many different guidelines for different areas. Put the large, massive, development somewhere else in Gilbert and keep the Heritage District the one and two story, pedestrian friendly, family friendly, neighborhood it started as.</p>	D	<p>Staff Response: The Heritage District was designated as a Redevelopment Area to encourage reinvestment. The Land Development Code has allowed for 55' height by right in the Heritage Village Center overlay. The Heritage District is not meant to be one homogenous area but rather one in which commercial development, multifamily and single family neighborhoods complement each other through use of similar design features, all the while providing unique and interesting aspects from area to area.</p>	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE				
Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
General	No consideration is being taken for current residents and businesses. Any new structure, conforming to these proposed guidelines, will overshadow and overwhelm existing structures. Over 80% of the existing structures don't fit the proposed guidelines, that is not fitting what the Heritage District is, that is changing it to something it is not, and should not be. The guidelines should be such that they blend with, and enhance, existing architecture, not make it obsolete. Essentially, these guidelines will eliminate the Heritage District and create a condensed, metropolis area in Gilbert. The Heritage District is not the place for that	D	Staff Response: The Land Development Code allows for 55' by right. Staff is anticipating growth to match this height.	C4
General	With the minimal setbacks in the Heritage District, building heights must be similar to create a cohesive look that doesn't have buildings overshadowing each other and surrounding spaces.	D	Staff Response: Varying heights creates interest and not monolithic feel. The Land Development Code allows for 55' by right in Heritage District.	C4
General	Some of these sections should be combined when they encompass the same area, and adjoining areas. Having separate guideline sections for the same area leads to confusion and conflicts. See specifics under headings.	D	Staff Response: Staff reviewed more than 30 examples of design guidelines best practices as well as best practices from the American Planning Association and International Downtown Association. The organization of this document was based off of staff review of such documents and industry leaders and was accepted by the Redevelopment Commission.	C4
General	OVERALL LIGHTING In all areas, lighting must be shielded or screened so it doesn't shine or reflect into any residential property. Lighting in residential areas shall be shielded or screened so it doesn't shine or reflect into any residential property other than the one the light is mounted on.	D	Staff Response: Lighting is not addressed in Design Guidelines. Lighting is however addressed in the Land Development Code and Municipal Code.	C4
General	OVERALL SOUND In order to provide a cohesive enjoyment of living, working, and playing in such a small area, a strict noise ordinance needs to be in place. Sound must be contained to each property so no sound from such property can be heard beyond the bordering street or alley. This is especially important after 10pm to allow a quiet time for residents to be well rested.	D	Staff Response: Sound is addressed as a Town Ordinance and not part of the Design Guidelines	C4

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE

Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
General	The Guidelines will require residential property owners to go through a design review process with the Redevelopment Commission. Currently residential property owners obtain their custom-building permit without the burden or expense of a review process. Currently, Custom residential building permits in Gilbert do not require approval from a design review commission. This process does not create a climate for redevelopment in the residential neighborhoods and it is not consistent with the town’s requirements.	D	Staff Comment. That is correct, single family residences do not go through the design review process however when a residential property owners submits their home or secondary structure for review to building permit, the building permit department does review the design guidelines for compliance. This is no different than the process that has been in place since the 2010 Design Guidelines were enacted. Staff has created a comparison of 2010 vs. 2020 guidelines to demonstrate that very minor changes have been made to the Lacy Tract requirements. There are additional notes that RC may approve items that are not listed in the Design Guidelines if a homeowner wishes to seek a variance from the guidelines.	C1
General	Either remove Veterans park or include all Public Institution Land that is vacate. Examples, the land on the corner of Gilbert and Elliot that is Public Institutional land with a deed restriction. For established Public Institutional land you would need to add the Community Center, Heritage Center, Boy’s and Girls Club, and the list goes on.	RC	Redevelopment Commission: Staff did not include the Boys and Girls club as it is a building rather than an open space. The Gilbert and Elliot lot no longer has a deed restriction and was therefore not included as open space. The Heritage Center. Staff does believe that Page Park should be added to the guideline. Please provide feedback on Boys & Girls Club, SE Corner of Gilbert and Elliot and Page Park.	C1
General	1. How many feet of the property is being taken for the widening of the sidewalk? 2. Are reconstruction updates required? Changes are no cost to the current homeowners correct?	D	Staff Response: No public property is being taken for widening sidewalks.	C11
General	What is the cost to the homeowner? why weren't we notified by the town but a separate organization?	D	Staff Response: There are no costs to the homeowner as part of the Design Guidelines unless a homeowner is building a new or undergoing major renovations. In that case, the cost to the homeowner would be the cost of the new home or the major renovations.	C11
General	How many feet is three stories?	N/A	That measurement will change based on the floor to ceiling ratio. A typical three-story building would be between 36 and 40 feet. On Gilbert Road, we would prefer to see two to three stories to address the historic main street feel, although people have the right to build up to 55 ft as provided in HVC zoning today. A request to build higher than 55 feet would need to go through a Planned Area Development (PAD) process with the Redevelopment Commission, Planning Commission, and Council, with neighborhood meetings and input.	STAKEHOLDER MEETING

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE				
Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
SECTION	COMMENT	RESPONSE	CLARIFICATION TO RESPONSE	SUBMITTER
General	What are the changes to the Redevelopment Plan?	N/A	The consultant for the Master Plan had buildings within the public right-of-way. Engineering staff discovered that error and it will be corrected. The Connect streets showed strings of arcades also in the right-of-way, which will also be corrected. There were previously landscape islands with street trees. Those trees were moved along the sidewalks to accommodate the flex lanes. Any items brought up during this review, such as light poles within the 3-foot area, will be included and cross-referenced with the Master Plan	STAKEHOLDER MEETING
General	Why are parks part of the Design Guidelines?	N/A	It is critical to have parks within the Design Guidelines so that any development near a park will be designed to integrate seamlessly with the park. As these parks are designed, we wanted to ensure that the input from the Redevelopment Plan process and the public input regarding these spaces are not forgotten. As projects are put into the Capital Improvement Plan, we need to have clear expectations about the intent for those spaces from the public input.	STAKEHOLDER MEETING
General	Some of the requirements state "shall", although the Design Guidelines are recommendations and not requirements.	N/A	The Design Guidelines will be an ordinance that is attached to the Land Development Code, Chapter 2. An ordinance makes something law and the only way to change it is to go through Town Council. There is some subjectivity written into the Design Guidelines because we want creativity. There is no way that the Design Guidelines or even the Code can anticipate every possible scenario. Typically the term "shall" refers to a must and "should" refers to something that should be addressed in some creative way. If something is "preferred", by law we cannot require it.	STAKEHOLDER MEETING
General	Maximum building height in the Complex and 9.1 acre site?	N/A	The 9.1 acre site allows for 55 feet by right, although the developer will likely put forth a Planned Area Development to go higher. We do not know the specific height they would be seeking at this time.	STAKEHOLDER MEETING
General	Is this a guideline or a regulatory requirement and do they need to be followed?	N/A	The Design Guidelines will be an ordinance and need to be followed, however subjectivity is built in through preferences and architecture style. The term 'shall' refers to something that is required. If the zoning allows for 55 feet in height by right and a developer wants to do four stories, they can. Gilbert Road is an area where the historic architectural style, materials, and colors need to be true to Gilbert and the Main Street USA feel. There will be more architectural flexibility for commercial areas off of Gilbert Road	STAKEHOLDER MEETING

HERITAGE DISTRICT DESIGN GUIDELINE PUBLIC COMMENT & STAFF RESPONSE				
Response Column Legend: Accept (A) Decline (D) Redevelopment Commission Discussion (RC) Staff Discussion (SD)				
<u>SECTION</u>	<u>COMMENT</u>	<u>RESPONSE</u>	<u>CLARIFICATION TO RESPONSE</u>	<u>SUBMITTER</u>
General	Overall it is an exceptional document that is easy to understand. The new format and imagery really make the plan come to life. All of the hard work put into it was appreciated. The group liked the identity of the different areas and maintaining the classical historic façade on Gilbert Road. The flexibility will allow for creativity with development in the future.	N/A		STAKEHOLDER MEETING
	There was concern with encouraging developers and architects to take these Design Guidelines to heart.			
General	I just want to say what a good job you and your team did with the design guidelines. I was a planner with the city of scottsdale for 7 years and worked on design guidelines myself and know what a long process it can be to create a document that the public agrees with, plus all the public outreach that goes along with it, so thank you! The black and white renderings throughout the document are well done, and the example images are helpful.	N/A		C15